



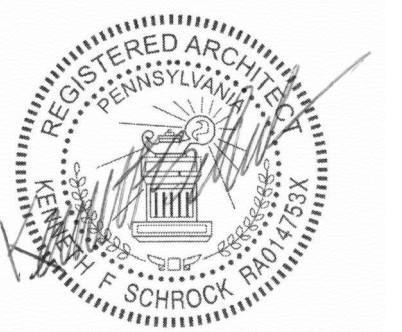
# WEST HEMPFIELD TOWNHOUSES PA-18-39 EXTERIOR RENOVATIONS

PREPARED FOR

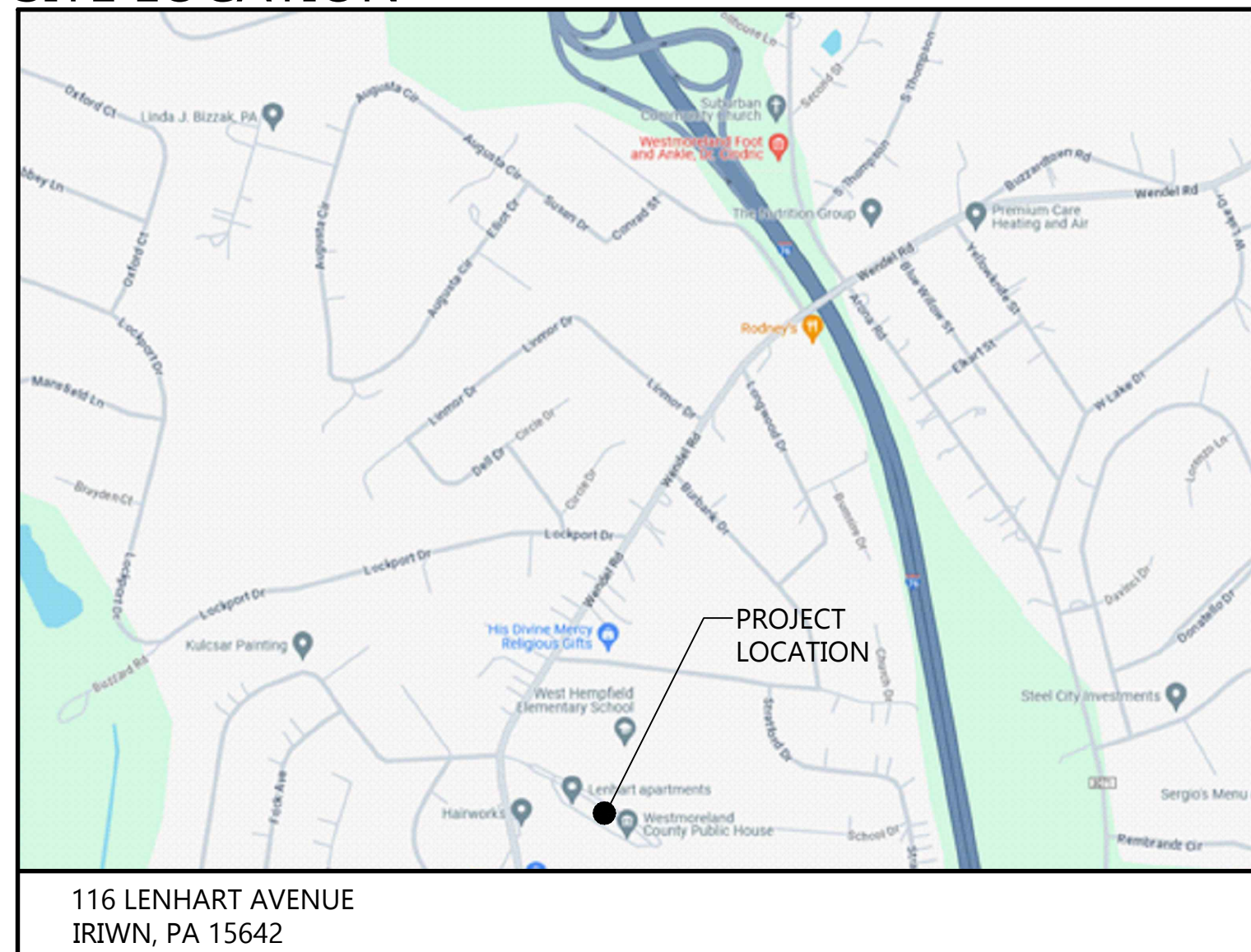
**WESTMORELAND COUNTY HOUSING AUTHORITY**  
167 SOUTH GREENGATE ROAD  
GREENSBURG, PA 15601

**JULY 2024**  
R23-077-05

## ISSUED FOR BIDDING



### SITE LOCATION



### DRAWING LIST

G0.01 COVER SHEET

#### Architectural

- A1.00 OVERALL SITE PLAN
- A1.20 BUILDING 2 FLOOR PLANS
- A1.30 BUILDING 3 FLOOR PLANS
- A1.40 BUILDING 4 FLOOR PLANS
- A1.50 BUILDING 5 FLOOR PLANS
- A1.60 BUILDING 6 FLOOR PLANS
- A1.70 BUILDING 7 FLOOR PLANS
- A1.80 BUILDING 8 FLOOR PLANS
- A2.20 BUILDING 2 ELEVATIONS
- A2.30 BUILDING 3 ELEVATIONS
- A2.40 BUILDING 4 ELEVATIONS
- A2.50 BUILDING 5 ELEVATIONS
- A2.60 BUILDING 6 ELEVATIONS
- A2.70 BUILDING 7 ELEVATIONS
- A2.80 BUILDING 8 ELEVATIONS
- A8.01 DOOR SCHEDULE & DOOR TYPES
- A8.02 WINDOW TYPES & DETAILS

**SLEIGHTER**  
DESIGN

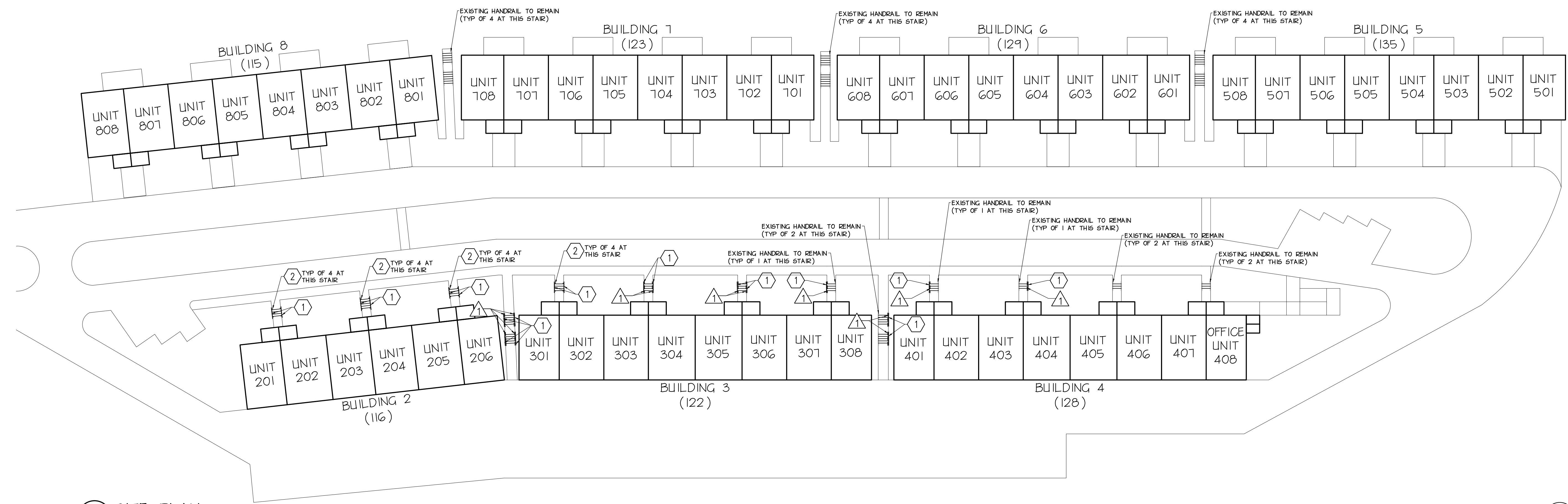
UNIVERSITY BUSINESS PARK  
1060 EBERLY WAY  
LEMONT FURNACE, PA 15456  
724.438.4010  
[WWW.SLEIGHTERDESIGN.COM](http://WWW.SLEIGHTERDESIGN.COM)



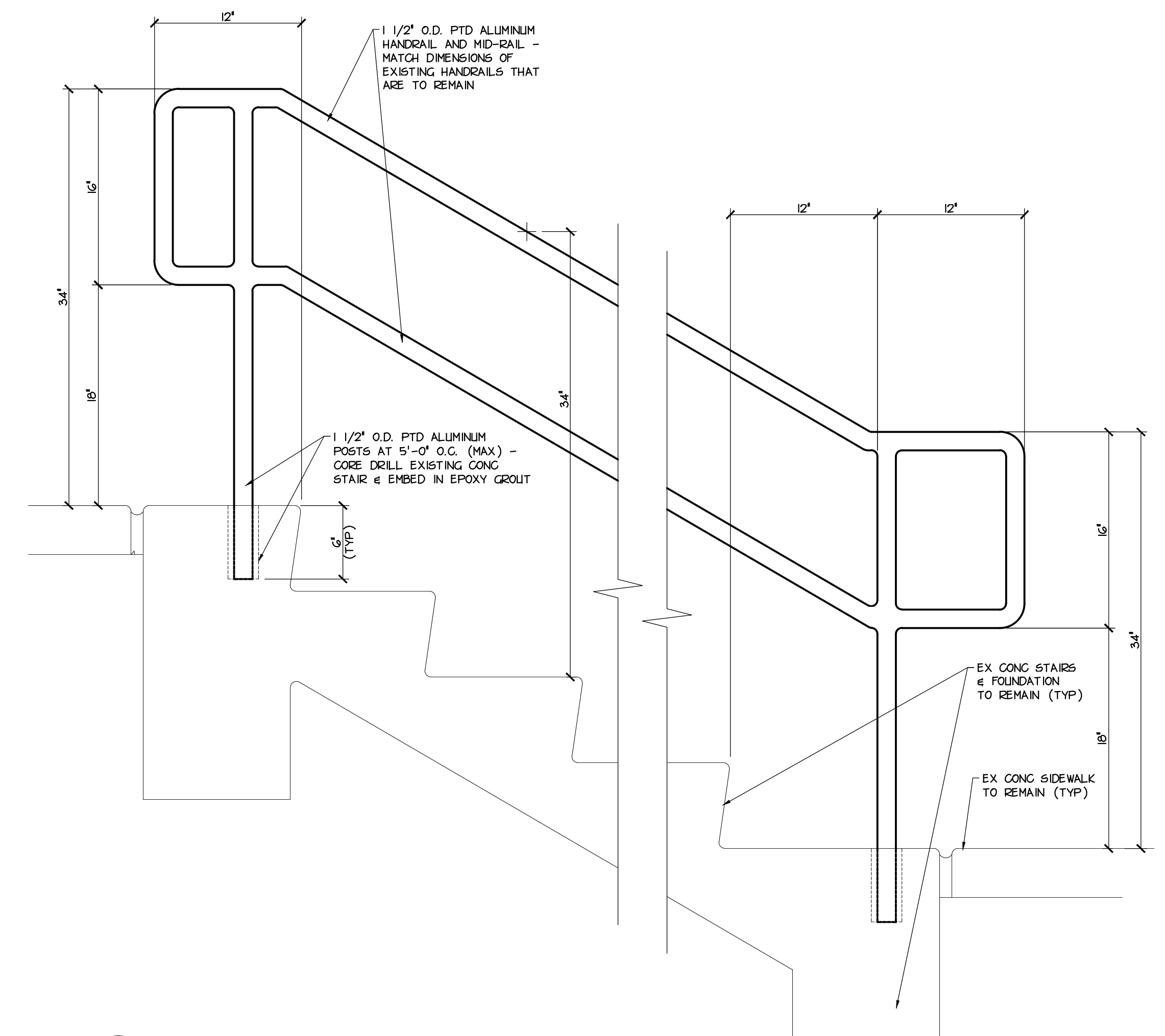
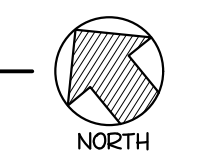
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**1 SITE PLAN**  
SCALE: N.T.S.



**2 HANDRAIL SECTION**  
SCALE: 1/2" = 1'-0"

NOTE:  
HANDRAIL TO MAINTAIN ALL CODE REQUIRED DIMENSIONS APPROPRIATE FOR EACH STAIR TYPE (3 TREAD, 4 TREAD AND 5 TREAD STAIRS).

- GENERAL SITE NOTES**
- FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO: DIMENSIONS, WINDOW SIZES, DOOR SIZES, GARAGE DOORS, EXTERIOR MASONRY, EXTERIOR EIFS, SIDEWALK STAIR HANDRAILS AND AREAS OF NEW WORK. CONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS TO DETERMINE THE FULL SCOPE OF WORK REQUIRED.
  - DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK. CONTRACTORS ARE TO REFER TO THE SPECIFICATIONS FOR THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, CONSTRUCTION SYSTEMS, STANDARDS FOR WORKMANSHIP OF THE WORK, AND PERFORMANCE OF RELATED SERVICES.
  - THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTORS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
  - DO NOT SCALE DRAWINGS.
  - ALL DIMENSIONS INDICATED ON DRAWINGS ARE TAKEN TO THE FINISHED SURFACE.
  - ALL WORK NOTED ON THE DRAWINGS IS TO BE DONE BY THE GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
  - WHERE INDICATED, 'PROVIDE' MEANS TO 'FURNISH AND INSTALL'.
  - ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR SUBMISSION OF ANY SHOP DRAWINGS. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT UPON DISCOVERY.
  - REFER TO SHEET AB.01 FOR DOOR SCHEDULE AND DOOR TYPES
  - REFER TO SHEET AB.02 FOR WINDOW TYPES AND DETAILS
  - GC TO CLEAN AND PREPARE FOR PAINT AS PART OF NEW WORK. PAINT ALL EXISTING HANDRAILS TO MATCH COLOR FOR THE NEW HANDRAILS.

- GENERAL SITE DEMOLITION NOTES**
- ALL DEMOLITION DEBRIS, WASTE MATERIAL, EXCESS FILL, TREES, LIMBS, ROOTS, RUBBISH, AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED.
  - THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ROLL-OFF BOX(ES) AND/OR OTHER SUITABLE MEANS TO COLLECT AND CONTAINERIZE DEMOLITION MATERIALS.
  - THE GENERAL CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF SITE DISPOSAL FACILITY, ALL ROLL-OFF BOX(ES) AND/OR DUMPSTER(S) WHEN FULL. THIS MAY INCLUDE BUT NOT BE LIMITED TO BUILDING AND SITE DEMOLITION DEBRIS.
  - THE OWNER SHALL BE GIVEN THE OPPORTUNITY TO COLLECT AND RETAIN AT THEIR FACILITY ANY ITEMS TO BE REMOVED ON THIS PROJECT. THIS MAY INCLUDE BUT NOT BE LIMITED TO DOORS, DOOR HARDWARE, WINDOWS, WINDOW HARDWARE, ELECTRICAL FIXTURES, APARTMENT NUMBERS, MAILBOXES, ETC. CONTRACTOR(S) SHALL COORDINATE DEMOLITION WORK WITH, AND NOTIFY THE OWNER, PRIOR TO REMOVAL OF ITEMS FROM SITE.
  - EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING, BUT NOT LIMITED TO, ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. CONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS TO DETERMINE THE FULL SCOPE OF WORK REQUIRED.
  - FURNISH PROTECTION FROM ELEMENTS FOR AREAS WHICH MAY BE EXPOSED BY UNCOVERING WORK. CONTRACTORS SHALL CONFINE ALL WORK, EQUIPMENT AND MATERIALS TO THE DESIGNATED WORK AREA.
  - PATCH AND/OR REPAIR PORTIONS OF EXISTING SURFACES WHICH ARE DAMAGED, LIFTED, DISCOLORED OR SHOWING OTHER IMPERFECTIONS.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION UNLESS SPECIFICALLY INDICATED TO BE COMPLETED BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ALL WORK WITHIN THEIR DISCIPLINE.
  - PROVIDE TEMPORARY SUPPORT TO ENSURE STRUCTURAL INTEGRITY OF THE WORK. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE. PROVIDE TEMPORARY, SAFE ACCESS TO APARTMENTS DURING CONSTRUCTION.
  - DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK. CONTRACTORS ARE TO REFER TO THE SPECIFICATIONS FOR THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, CONSTRUCTION SYSTEMS, STANDARDS FOR WORKMANSHIP OF THE WORK, AND PERFORMANCE OF RELATED SERVICES.
  - THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTORS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.

- SITE CONSTRUCTION NOTES**
- GC TO PROVIDE NEW HANDRAILS WHERE INDICATED ON THE SITE PLAN. ENSURE THAT HANDRAILS MEET REQUIREMENTS FOR THE NUMBER OF EXISTING TREADS AT EACH STAIR. GC TO PROVIDE ALL RELATED FASTENERS TO ENSURE A SECURE AND PLUMB INSTALLATION. SEE HANDRAIL DETAIL '2' ON THIS SHEET.
  - GC TO PROVIDE CONCRETE INFILL WHERE HANDRAIL POST EMBEDMENTS HAVE BEEN REMOVED AS PART OF DEMOLITION. ENSURE THAT OPENING IS CLEAR OF ANY DEBRIS AND PREPARED FOR INFILL. PROVIDE CONCRETE INFILL AT OPENINGS AND FINISH TO LEVEL OF EXISTING ADJACENT CONCRETE STEPS. ALLOW CONCRETE TO CURE THEN PROVIDE SEALANT AT PERIMETER TO ALLOW FOR A WATER-TIGHT CONNECTION.

- SITE DEMOLITION NOTES**
- GENERAL CONTRACTOR TO REMOVE EXISTING METAL HANDRAILS ALONG WITH POSTS ANCHORED IN EXISTING CONCRETE STAIRS. REMOVE SEALANT AND RESIDUE FROM EMBEDMENT. PREPARE ABANDONED OPENING FOR CONCRETE INFILL AS PART OF NEW WORK. PROVIDE NEW HANDRAIL AT THIS LOCATION AS PART OF NEW WORK.

PROJECT  
**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER  
**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER  
**R23-077-05**  
ISSUED FOR  
**OWNER REVIEW**  
ISSUE DATE  
**JULY 2024**

SHEET NAME  
**OVERALL SITE PLAN**

SHEET NUMBER  
**A1.00**

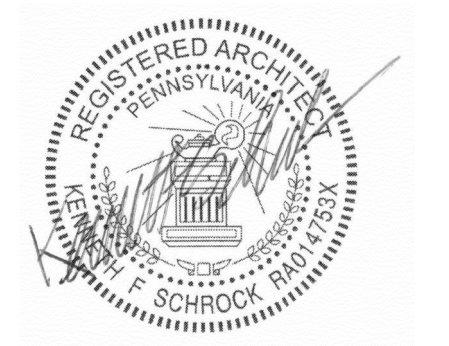
P:077 - Westmoreland County Housing Authority R23-077-05 - WCHA West Hempfield Townhouses Exterior Renovations A1.00 (Rev. Date: 7/10/2024 2:25:32 PM, Plotted By: JANE DOLJAC)



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PROJECT

**WEST  
HEMPFIELD  
TOWNHOUSES  
EXTERIOR  
RENOVATIONS**

OWNER

**WESTMORELAND  
COUNTY  
HOUSING  
AUTHORITY**

PROJECT NUMBER

R23-077-05

ISSUED FOR

OWNER REVIEW

ISSUE DATE

JULY 2024

SHEET NAME

**BUILDING 2  
PLANS**

SHEET NUMBER

**A1.20**

**GENERAL DEMOLITION NOTES**

1. ALL DEMOLITION DEBRIS, WASTE MATERIAL, EXCESS FILL, TREES, LIMBS, ROOTS, RUBBISH, AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED. MAINTAIN ROLL-OFF BOXES OR OTHER SUITABLE MEANS TO COLLECT AND CONTAINERIZE DEMOLITION MATERIALS.
2. THE GENERAL CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF-SITE DISPOSAL FACILITY, ALL ROLL-OFF BOX(ES) AND/OR DUMPSTER(S) WHEN FULL. THIS MAY INCLUDE BUT NOT BE LIMITED TO BUILDING AND SITE DEMOLITION DEBRIS.
3. THE GENERAL CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF SITE DISPOSAL FACILITY, ALL ROLL-OFF BOX(ES) AND/OR DUMPSTER(S) WHEN FULL. THIS MAY INCLUDE BUT NOT BE LIMITED TO BUILDING AND SITE DEMOLITION DEBRIS.
4. THE OWNER SHALL BE GIVEN THE OPPORTUNITY TO COLLECT AND RETAIN AT THEIR FACILITY ANY ITEMS TO BE REMOVED ON THIS PROJECT. THIS MAY INCLUDE BUT NOT BE LIMITED TO DOORS, DOOR HARDWARE, WINDOWS, WINDOW HARDWARE, LIGHT FIXTURES, ETC. CONTRACTOR(S) SHALL COORDINATE DEMOLITION WORK WITH, AND NOTIFY THE OWNER, PRIOR TO REMOVAL OF ITEMS FROM SITE.
5. EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING, BUT NOT LIMITED TO, ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS.
6. FURNISH PROTECTION FROM ELEMENTS FOR AREAS WHICH MAY BE EXPOSED BY UNCOVERING WORK. CONTRACTORS SHALL CONFINE ALL WORK, EQUIPMENT AND MATERIALS TO THE DESIGNATED WORK AREA.
7. PATCH AND/OR REPAIR PORTIONS OF EXISTING SURFACES WHICH ARE DAMAGED, LIFTED, DISCOLORED OR SHOWING OTHER IMPERFECTIONS.
8. PROVIDE TEMPORARY SUPPORT TO ENSURE STRUCTURAL INTEGRITY OF THE WORK. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
9. GC TO REMOVE WITH CARE EXISTING SIGNAGE, BUILDING NUMBER AND APARTMENT NUMBERS PRIOR TO MASONRY AND EIFS RESTORATION TO ALLOW ACCESS TO ALL FINISHES. SET ITEMS REMOVED ASIDE FOR REINSTALLATION UPON COMPLETION OF RESTORATION AS PART OF NEW WORK.
10. GC TO REMOVE DAMAGED OR ROTTED EXTERIOR WALL SHEATHING, WOOD FRAMING, INSULATION BOARD, BATT INSULATION, GYPSUM WALL BOARD AND SEALANT. PROVIDE UNIT PRICE PER QUANTITY AS INDICATED IN SPECIFICATION SECTION 01210.
11. GC TO REMOVE BROKEN OR DAMAGED BRICK ALONG WITH MORTAR BACK TO NEAREST JOINT. CLEAN AND PREPARE AREA OF REMOVAL FOR BRICK INFILL AS PART OF NEW WORK. CLEAN ALL BRICK AND MORTAR OF STAIN, PAINT, DIRT, ETC. AND PREPARE SURFACE FOR SEAL AS PART OF NEW WORK.
12. GC TO REMOVE AND REPLACE AREAS OF DAMAGED EIFS COATING. CLEAN EXTERIOR EIFS AND PREPARE FOR COATING AS PART OF NEW WORK. REMOVE EXISTING JOINT SEALANT AT ALL CONTROL JOINTS, PERIMETER BASE ALONG BRICK AND PERIMETER ALONG PORCH ROOF. CLEAN & PREPARE JOINT FOR NEW SEALANT & BACKER ROD AS PART OF NEW WORK.
13. GC TO REMOVE SEALANT FROM EXISTING MASONRY CONTROL JOINT. CLEAN AND PREPARE JOINT FOR INSTALLATION OF SEALANT AND BACKER ROD AS PART OF NEW WORK.

**GENERAL NOTES**

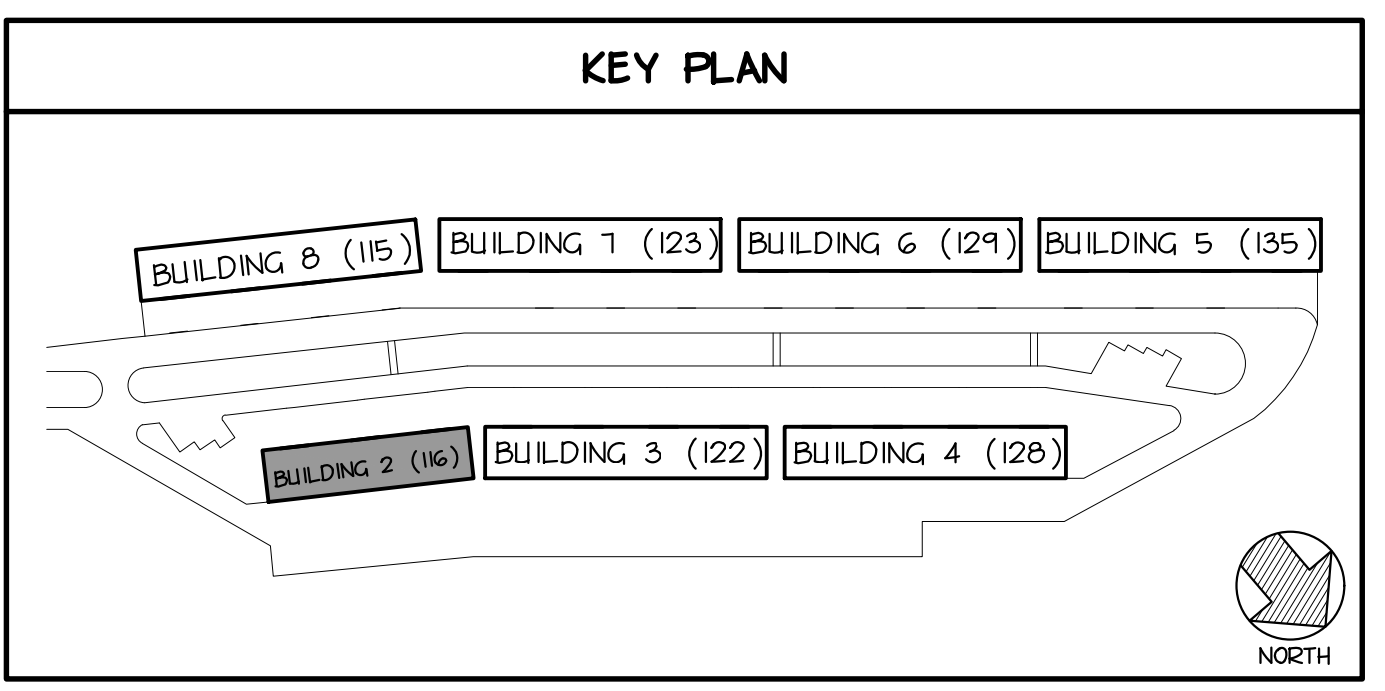
1. ALL DEMOLITION DEBRIS, WASTE MATERIAL, RUBBISH AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED. MAINTAIN ROLL-OFF BOXES OR OTHER SUITABLE MEANS TO COLLECT AND CONTAINERIZE DEMOLITION MATERIALS.
2. CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF-SITE FACILITY, ALL ROLL-OFF BOXES AND/OR DUMPSTERS WHEN FULL.
3. CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING BUT NOT LIMITED TO ELEMENTS OF BUILDING AND SITE SUBJECT TO DAMAGE AS A RESULT OF ROOF WORK.
4. FURNISH PROTECTION FROM ELEMENTS FOR AREAS WHICH MAY BE EXPOSED BY UNCOVERING WORK.
5. RESTORE ALL AREAS OF THE SITE AND BUILDING(S) NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITIES UPON COMPLETION OF CONSTRUCTION WORK.
6. BUILDING TYPES AND QUANTITIES ARE SHOWN TO ASSIST THE CONTRACTORS IN BIDDING WORK. HOWEVER, MINOR VARIATIONS IN THE BUILDING TYPES ARE TO BE EXPECTED. THE CONTRACTOR IS TO INSPECT AND VERIFY ALL QUANTITIES IN THE FIELD PRIOR TO BIDDING.
7. GC TO REPLACE ALL DAMAGED, CRACKED, OR STAINED BRICK NOT ABLE TO BE CLEANED, ALONG WITH MORTAR, TO MATCH EXISTING ADJACENT BRICK. PROVIDE WATER-TIGHT INFILL TO ENSURE A SEAMLESS INSTALLATION. CLEAN AND SEAL ALL BRICK VENEER. GC TO REFER TO MASONRY RESTORATION NOTES ON SHEET A2.20 AND ELEVATIONS INDICATING AREAS OF RESTORATION ON SHEETS A2.20, A2.30, A2.40, A2.50, A2.60, A2.70 AND A2.80.
8. REFER TO EIFS RESTORATION NOTES ON SHEET A2.20.
9. REFER TO SHEET AB.01 FOR DOOR SCHEDULE AND DOOR TYPES.
10. REFER TO SHEET AB.02 FOR WINDOW TYPES AND DETAILS.
11. REFER TO SHEET A2.30 FOR EIFS RESTORATION DETAILS.
12. GC TO CLEAN, PREP AND PAINT MASONRY STEEL LINTELS AT ALL DOORS, GARAGE DOORS AND WINDOWS. REMOVE SEALANT AT ALL LINTELS AND PROVIDE NEW SEALANT AT WINDOW, DOOR AND GARAGE DOOR PERIMETERS AS RECOMMENDED BY MANUFACTURER.
13. GC TO INSTALL ALL SIGNAGE, BUILDING NUMBERS AND APARTMENT NUMBERS THAT WERE REMOVED FOR MASONRY RESTORATION AT LOCATIONS AS INDICATED BY OWNER. PROVIDE REPLACEMENT IN KIND FOR ANY BROKEN, MISSING OR DAMAGED FASTENERS.
14. GC TO PROVIDE CONTINUOUS GUTTERS, DOWNSPOUTS, HANGERS AND RELATED FASTENERS. CONNECT TO EXISTING PVC DOWNSPOUTS. ENSURE A WATER-TIGHT INSTALLATION OF COLLECTION ASSEMBLY.
15. REFER TO A1.0 OVERALL SITE PLAN FOR SITE DEMOLITION AND CONSTRUCTION.
16. GC TO CLEAN AND REMOVE ANY AREAS OF DAMAGED, CRACKED, OR DETERIORATED EIFS COATING. PROVIDE MESH AND EIFS COATING TO MATCH EXISTING ADJACENT CONDITIONS. PROVIDE SEALANT AND BACKER ROD AT EXISTING CONTROL JOINTS, ALONG PERIMETER BASE ALONG BRICK AND PERIMETER ALONG PORCH ROOF.
17. GC TO PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT EXISTING MASONRY CONTROL JOINTS.

**DEMOLITION NOTES**

- 1 GC TO REMOVE EXISTING STORM DOORS ALONG WITH RELATED HARDWARE, FASTENERS AND TRIM. PREPARE EXISTING OPENING FOR NEW WORK.
- 2 GC TO REMOVE EXISTING ENTRY DOOR SLAB ALONG WITH RELATED HARDWARE AND FASTENERS. EXISTING DOOR FRAME TO REMAIN. PREPARE EXISTING OPENING FOR NEW WORK. GC TO REMOVE DOOR HARDWARE & TURN OVER TO THE OWNER.
- 3 GC TO REMOVE EXISTING GARAGE DOOR ALONG WITH RELATED HARDWARE, TRACK, TRIM AND EXTERIOR WEATHER-STRIPPING. PREPARE OPENING FOR NEW WORK.
- 4 GC TO REMOVE EXISTING WINDOWS ALONG WITH RELATED FASTENERS, TRIM AND BLOCKING. LIMIT DISTURBANCE TO EXISTING ADJACENT GMB. PREPARE EXISTING OPENING FOR NEW WORK.

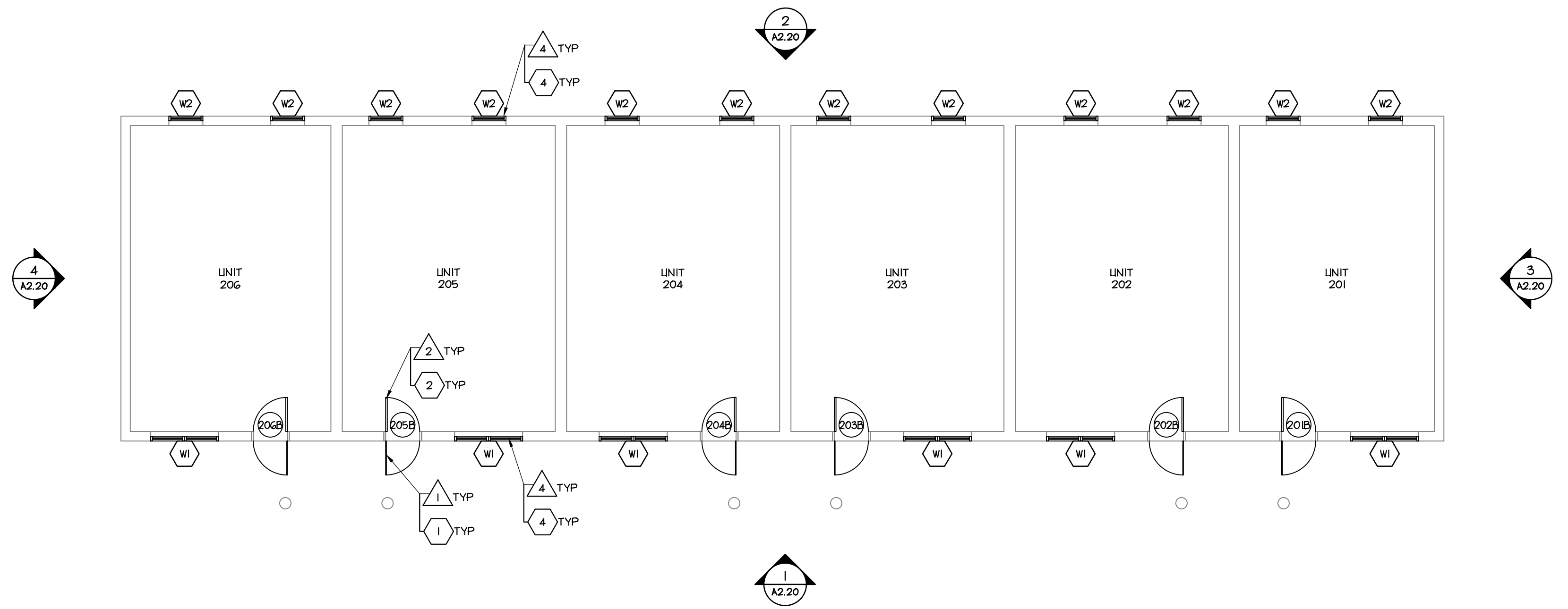
**CONSTRUCTION NOTES**

- 1 GC TO PROVIDE STORM DOOR ALONG WITH RELATED HARDWARE. VERIFY EXISTING MASONRY DOOR OPENINGS AND EXISTING CONDITIONS PRIOR TO SHOP DRAWING SUBMITTAL. LIMIT DISTURBANCE TO ADJACENT EXISTING FINISHES. SEAL AND FINISH AROUND STORM DOOR FRAME TO ACHIEVE A SEAMLESS INSTALLATION. PROVIDE DOORS AS INDICATED ON THE PLANS AND ELEVATIONS ALONG WITH THE DOOR SCHEDULE AND DOOR TYPES ON SHEET AB.01.
- 2 GC TO PROVIDE ENTRY DOOR SLAB ALONG WITH RELATED HARDWARE TO MATCH EXISTING SIZE. VERIFY EXISTING DOOR OPENINGS AND EXISTING CONDITIONS PRIOR TO SHOP DRAWING SUBMITTAL. EXISTING DOOR JAMB AND THRESHOLD ALONG WITH ALL EXISTING TRIM IS TO REMAIN. LIMIT DISTURBANCE TO ADJACENT EXISTING FINISHES. INSTALL EXISTING DOOR CORES IN NEW HARDWARE AS PER OWNER'S DIRECTION. PROVIDE DOORS AS INDICATED ON THE PLANS AND ELEVATIONS ALONG WITH THE DOOR SCHEDULE AND DOOR TYPES ON SHEET AB.01.
- 3 GC TO PROVIDE INSULATED GARAGE DOOR ALONG WITH RELATED HARDWARE, TRACK, FASTENERS AND EXTERIOR WEATHER-STRIPPING. EXISTING WOOD FRAME AT GARAGE DOOR OPENING TO REMAIN. PROVIDE METAL WRAP AROUND EXISTING EXTERIOR WOOD FRAME ALONG WITH CONTINUOUS SEALANT AT PERIMETER EDGE. VERIFY EXISTING GARAGE DOOR OPENINGS AND EXISTING CONDITIONS PRIOR TO SHOP DRAWING SUBMITTAL. LIMIT DISTURBANCE TO ADJACENT EXISTING FINISHES. PROVIDE GARAGE DOORS AS INDICATED ON THE PLANS AND ELEVATIONS ALONG WITH THE DOOR SCHEDULE AND DOOR TYPES ON SHEET AB.01.
- 4 GC TO PROVIDE DOUBLE-HUNG WINDOWS. VERIFY EXISTING WINDOW OPENINGS AND EXISTING CONDITIONS PRIOR TO SHOP DRAWING SUBMITTAL. LIMIT DISTURBANCE TO ADJACENT EXISTING FINISHES. REPLACE ALL DAMAGED AND/OR ROTTEN GMB, BLOCKING, FRAMING, INSULATION AND EXTERIOR SHEATHING. SEAL AND FINISH AROUND WINDOW ASSEMBLY TO ACHIEVE A SEAMLESS INSTALLATION. WINDOWS AS INDICATED ON THE PLANS AND ELEVATIONS ALONG WITH THE WINDOW TYPES AND DETAILS ON SHEET AB.02.



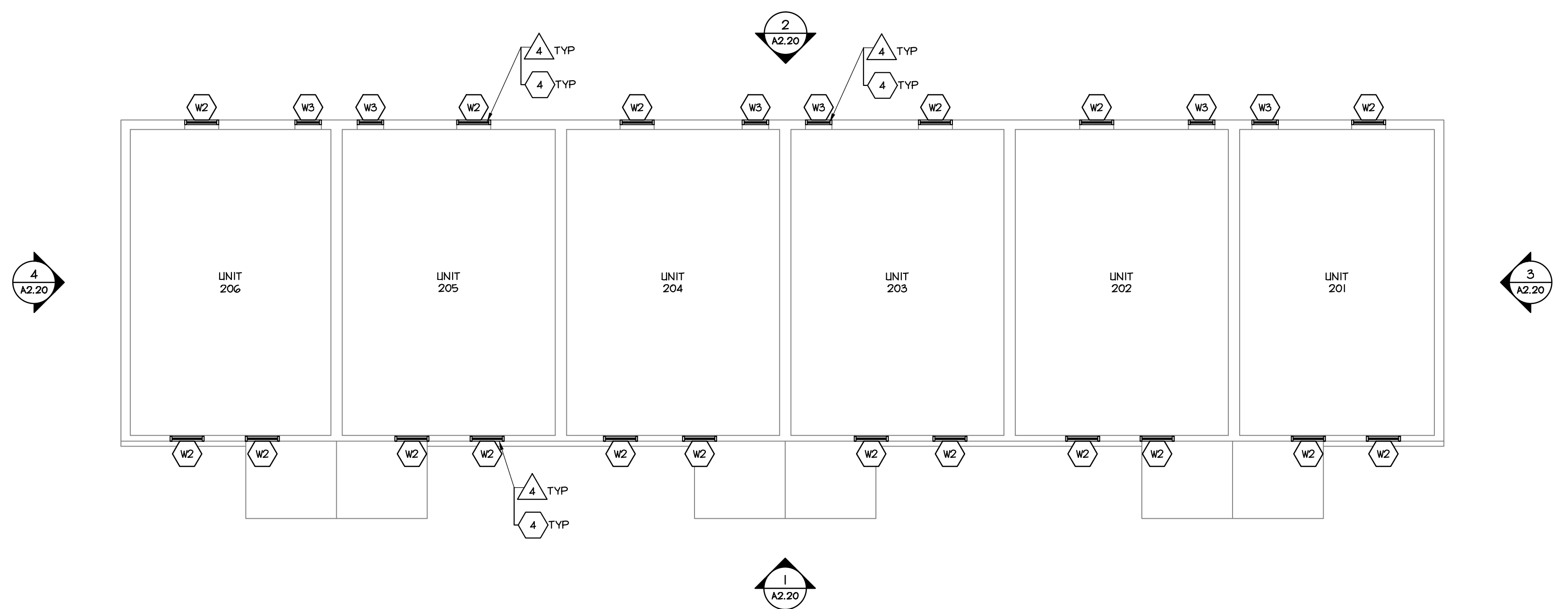
**1 BUILDING 2 BASEMENT PLAN**

A1.20 SCALE: 1/8" = 1'-0"



**2 BUILDING 2 FIRST FLOOR PLAN**

A1.20 SCALE: 1/8" = 1'-0"



**3 BUILDING 2 SECOND FLOOR PLAN**

A1.20 SCALE: 1/8" = 1'-0"



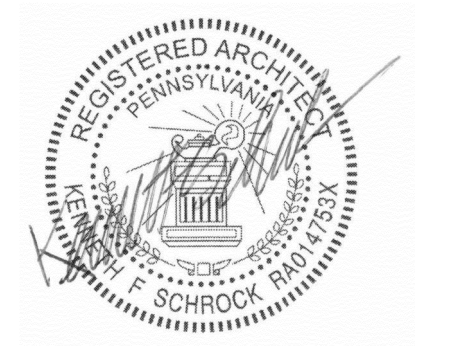
P:\077 - Westmoreland County Housing Authority\R23-077-05 - West Hempfield Townhouses\DWG\Sheets\A1.20.dwg, Date: 7/10/2024 1:26:07 PM, Plotted By: JANE DOUGLAS



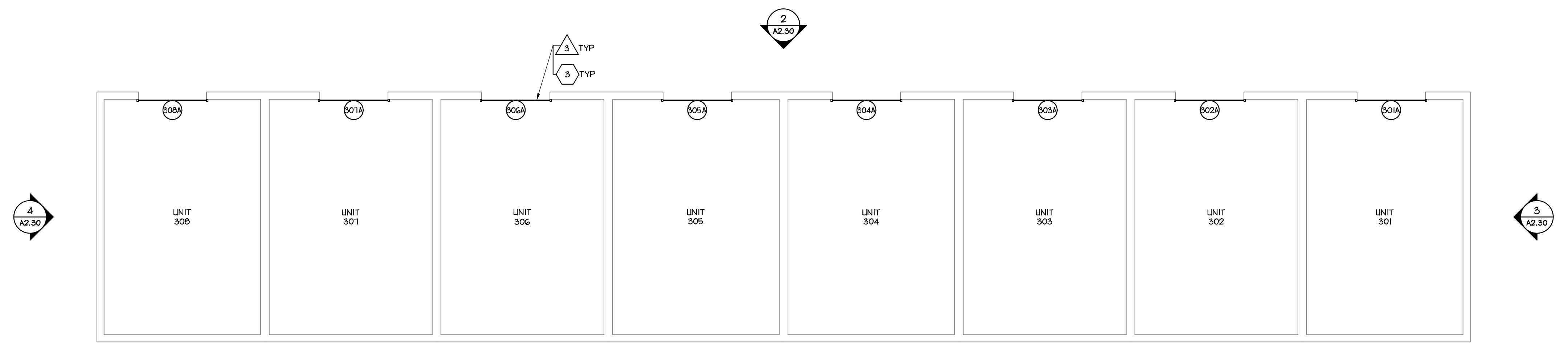
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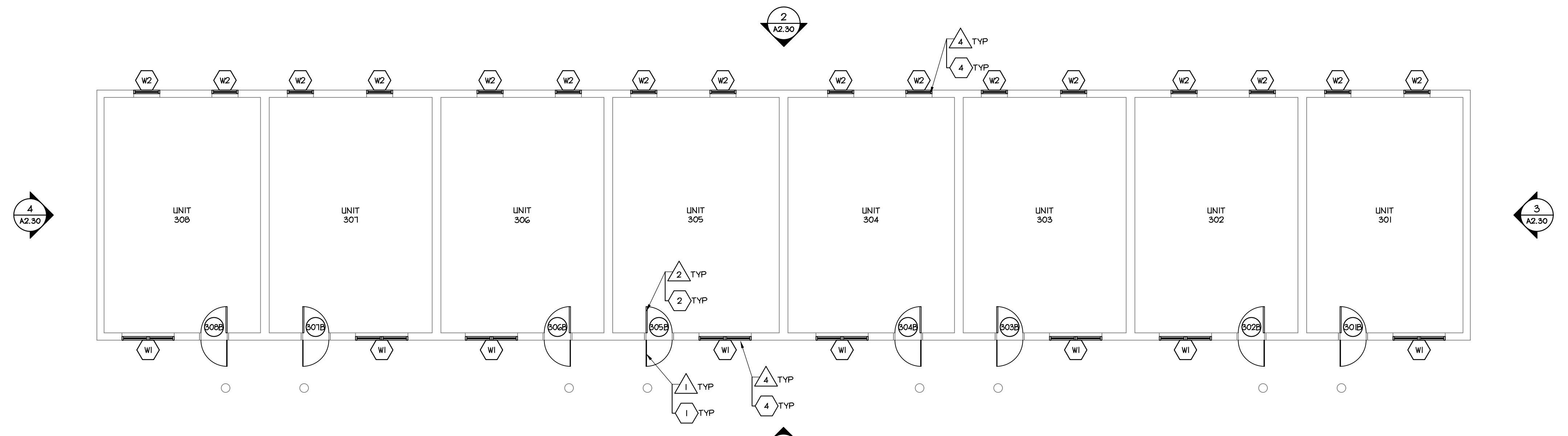
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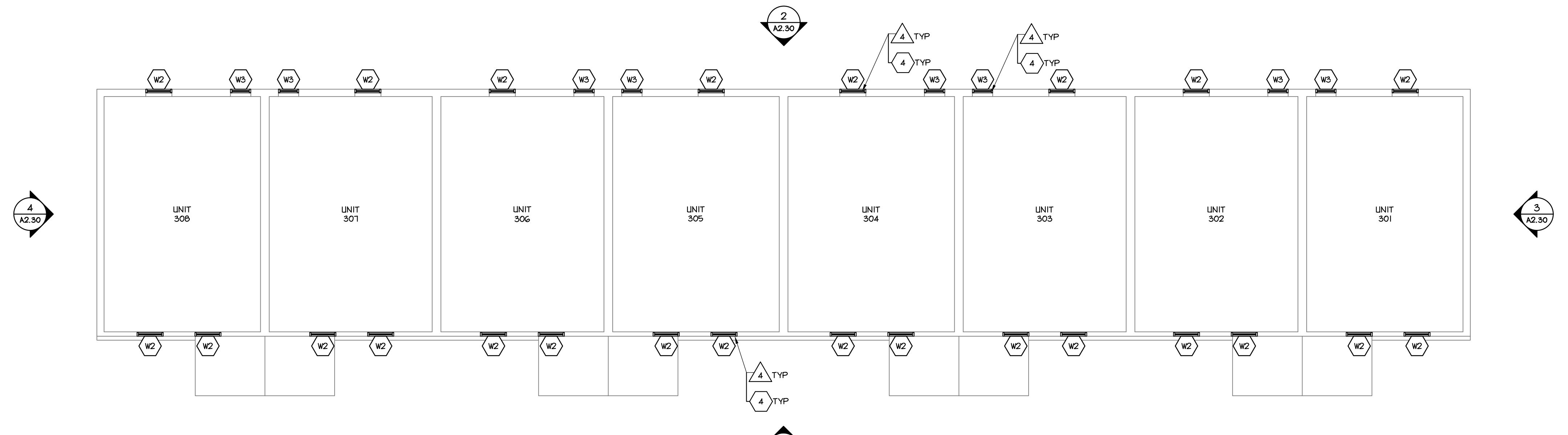
**DRAWING NOTES**  
1. REFER TO SHEET A1.20 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES.



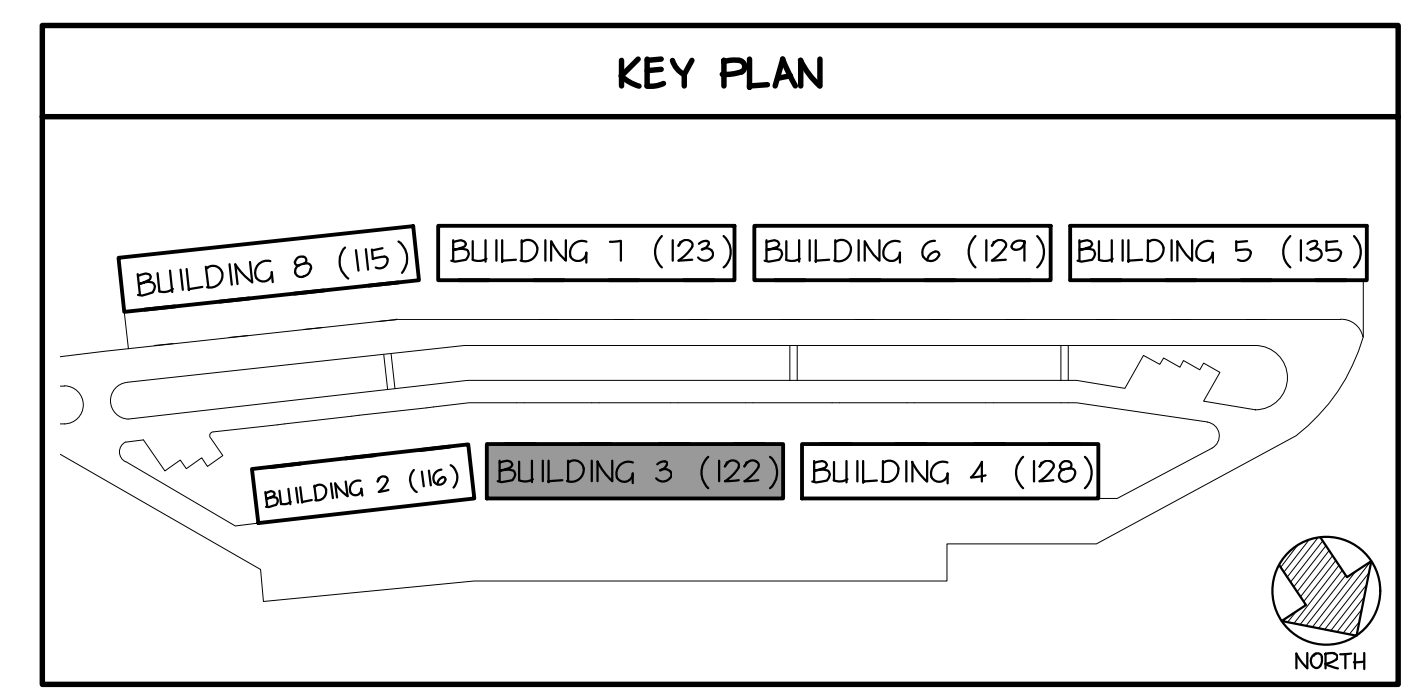
**1 BUILDING 3 BASEMENT PLAN**  
A1.30 SCALE: 1/8" = 1'-0"



**2 BUILDING 3 FIRST FLOOR PLAN**  
A1.30 SCALE: 1/8" = 1'-0"



**3 BUILDING 3 SECOND FLOOR PLAN**  
A1.30 SCALE: 1/8" = 1'-0"



**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER  
**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER  
R23-077-05

ISSUED FOR  
OWNER REVIEW

ISSUE DATE  
JULY 2024

SHEET NAME

**BUILDING 3 PLANS**

SHEET NUMBER

**A1.30**

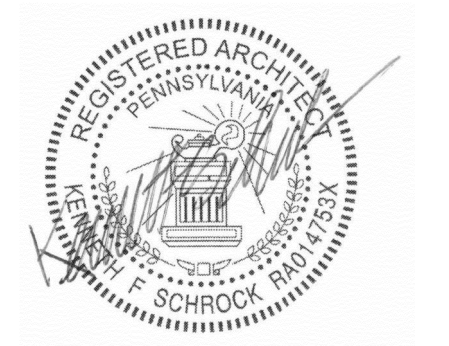
P:077 - Westmoreland County Housing Authority R23-077-05 - WCHA West Hempfield Townhouses Exterior Renovations A1.30 (Rev. Date: 7/10/2024 2:28:05 PM, Plotted By: JANE DOLJAC)



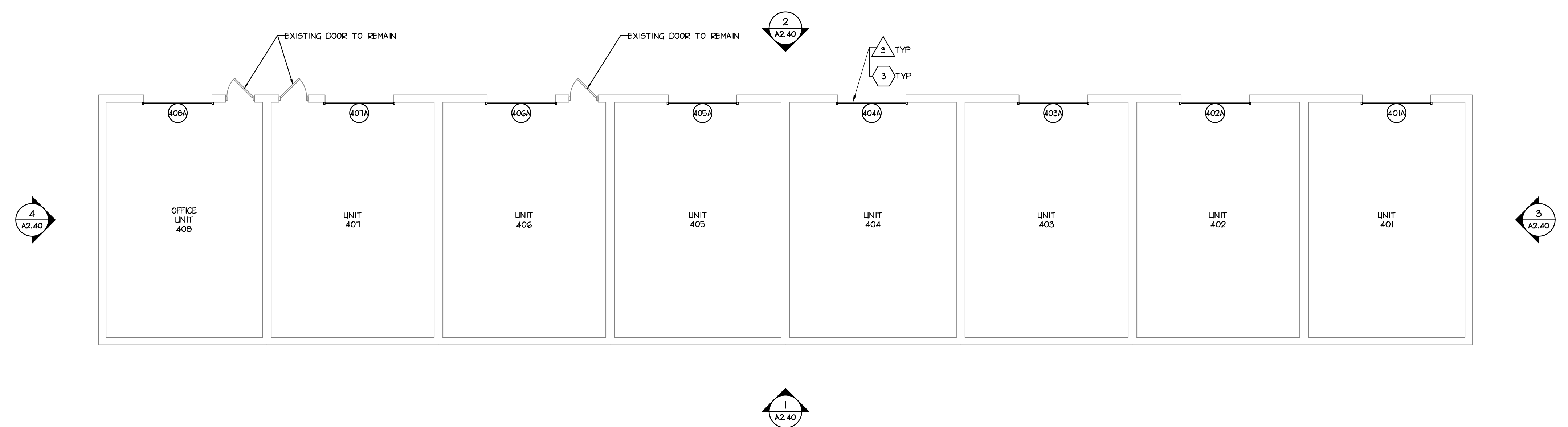
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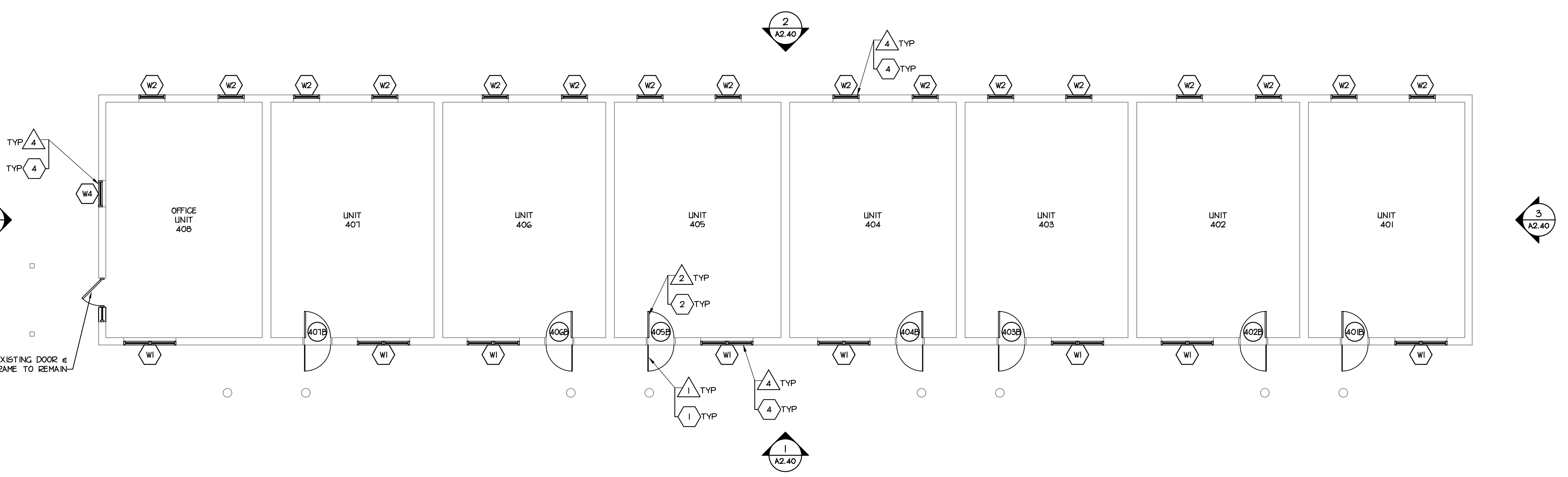
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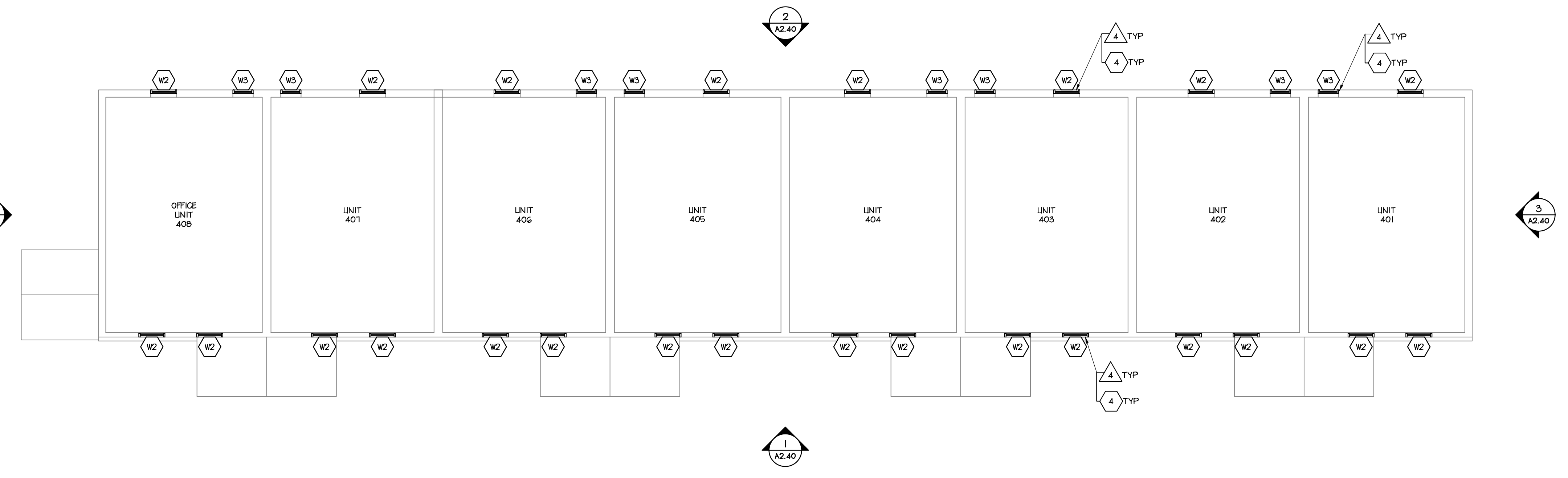
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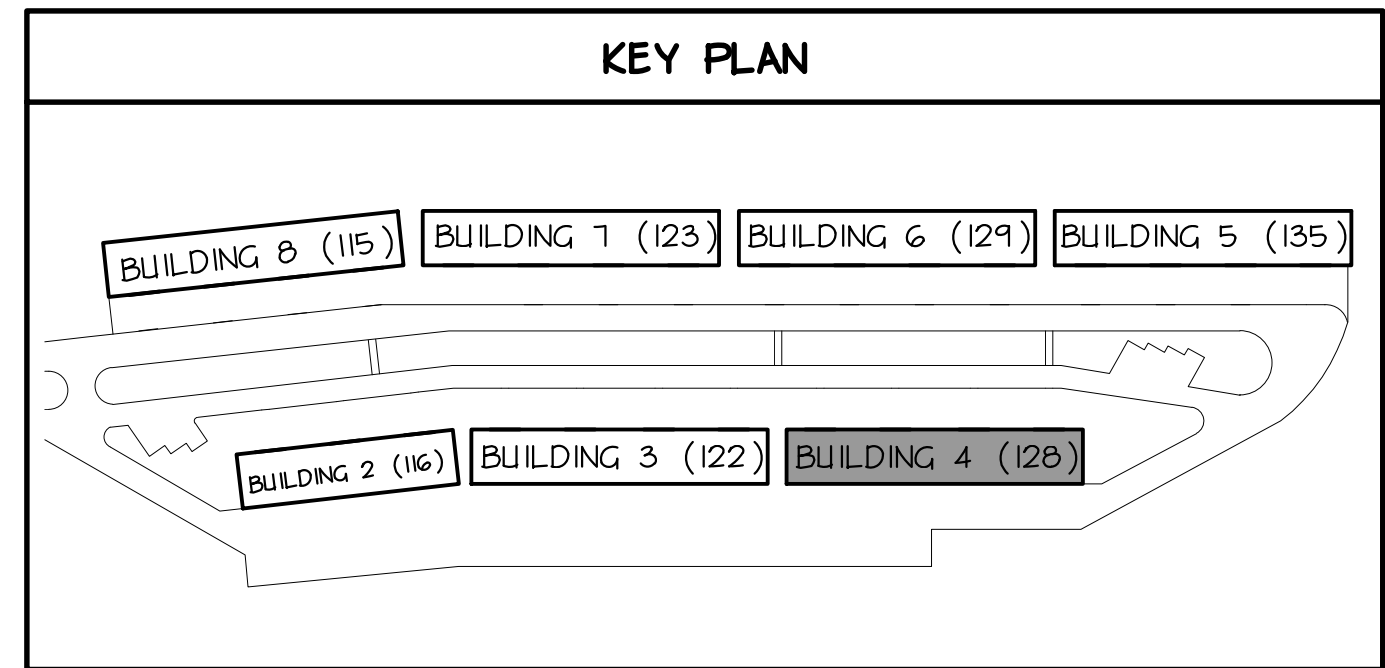
**1 BUILDING 4 BASEMENT PLAN**  
A1.40 SCALE: 1/8" = 1'-0"



**2 BUILDING 4 FIRST FLOOR PLAN**  
A1.40 SCALE: 1/8" = 1'-0"



**3 BUILDING 4 SECOND FLOOR PLAN**  
A1.40 SCALE: 1/8" = 1'-0"



**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER  
**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER  
R23-077-05  
ISSUED FOR  
OWNER REVIEW  
ISSUE DATE  
JULY 2024  
SHEET NAME

**BUILDING 4 PLANS**

SHEET NUMBER

**A1.40**

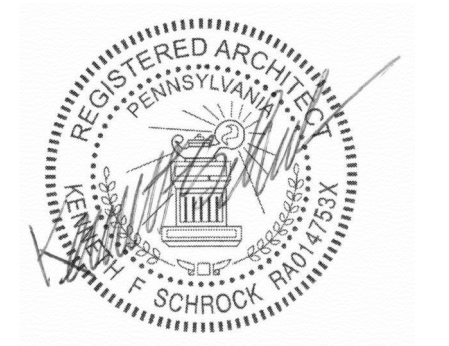
P:077 - Westmoreland County Housing Authority R23-077-05 - WCHA West Hempfield Townhouses Exterior Renovations A1.40.dwg, Date: 7/10/2024 1:27:11 PM, Plotted By: JANE DOLJAC



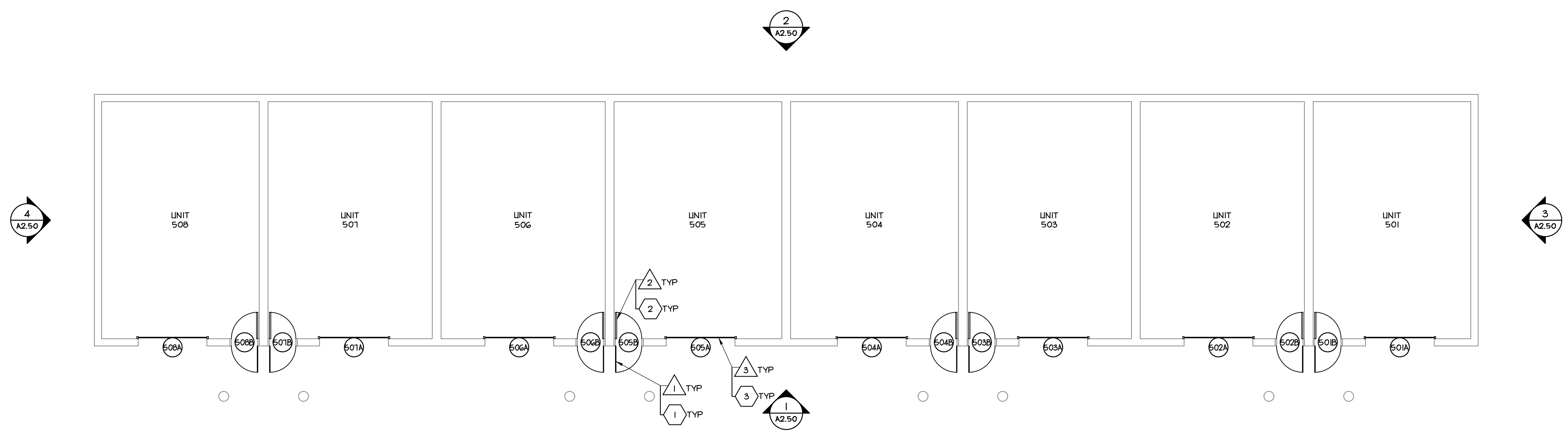
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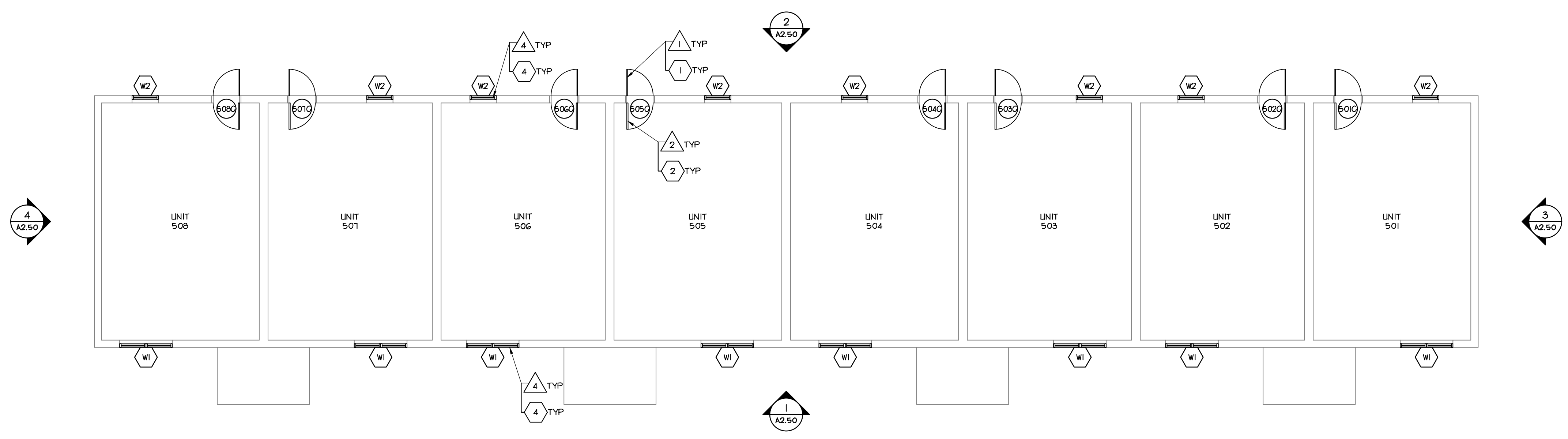
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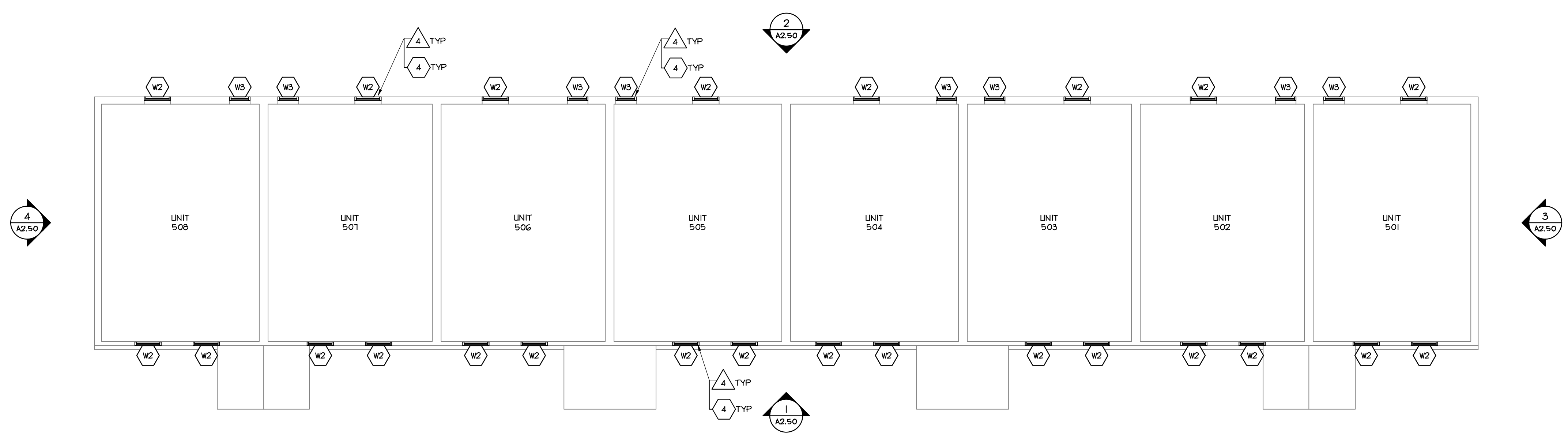
**DRAWING NOTES**  
1. REFER TO SHEET A1.20 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES.



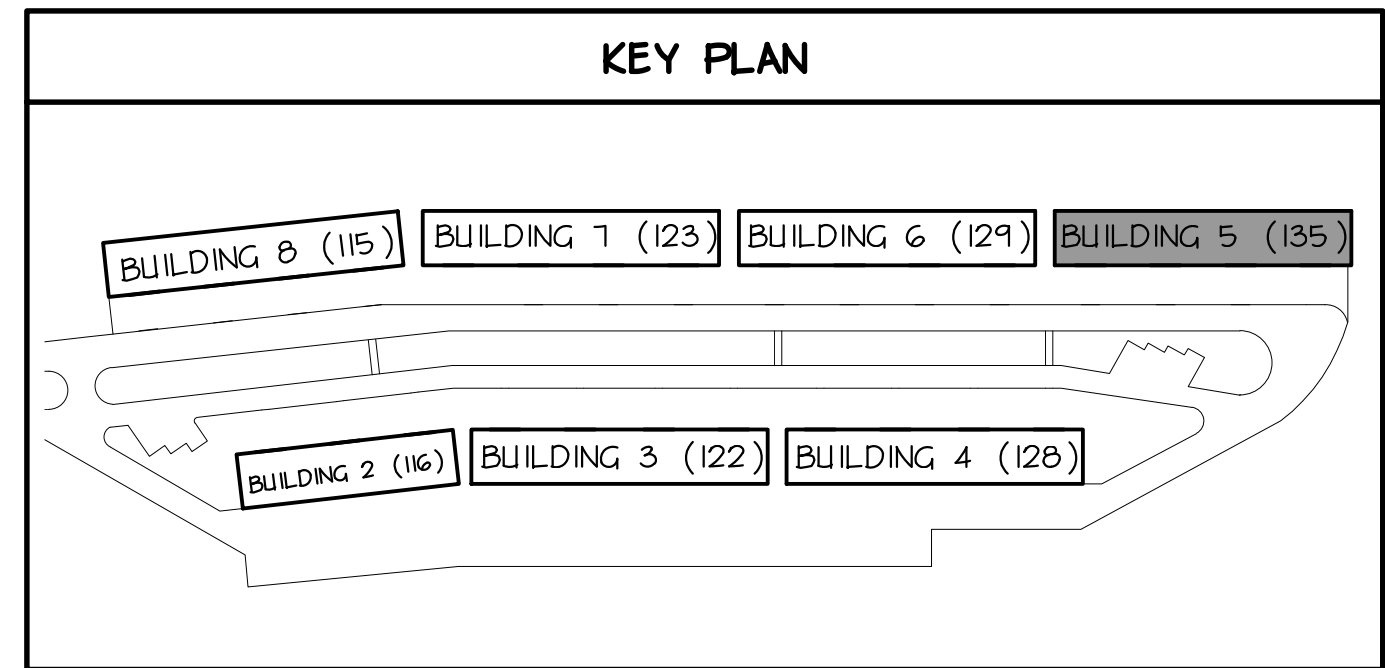
**1 BUILDING 5 BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"



**2 BUILDING 5 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**3 BUILDING 5 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



PROJECT  
**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER  
**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER  
**R23-077-05**

ISSUED FOR  
**OWNER REVIEW**

ISSUE DATE  
**JULY 2024**

SHEET NAME

**BUILDING 5 PLANS**

SHEET NUMBER

**A1.50**

P:077 - Westmoreland County Housing Authority R23-077-05 - WCHA West Hempfield Townhomes Exterior Renovations A1.50 (Rev. Date: 7/10/2024 1:28:31 PM) Plotted By: JANE DOLJAC



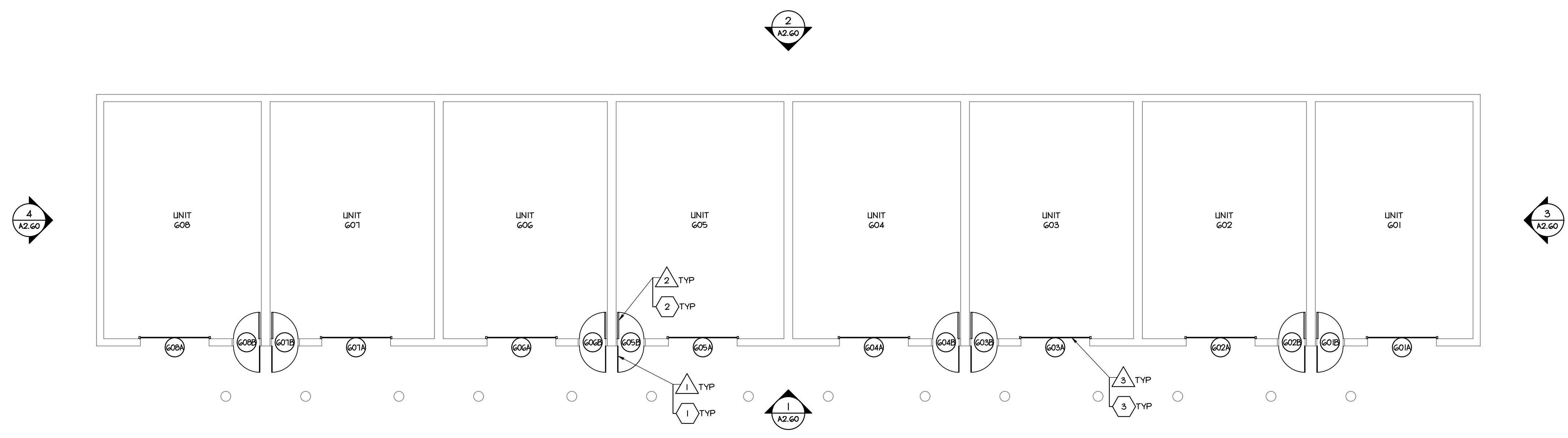
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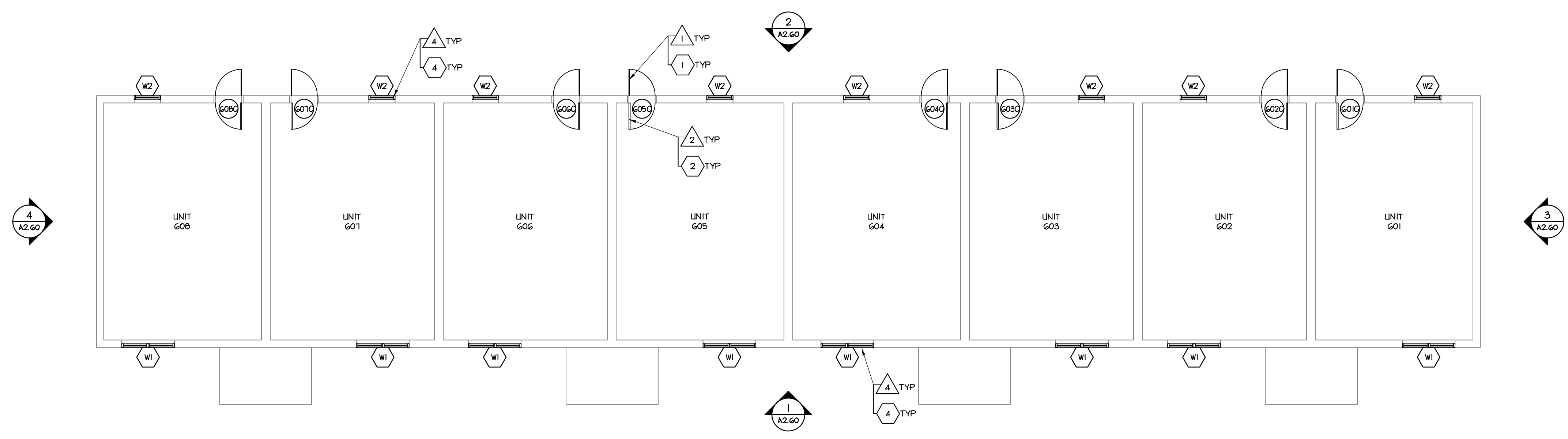
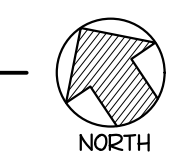
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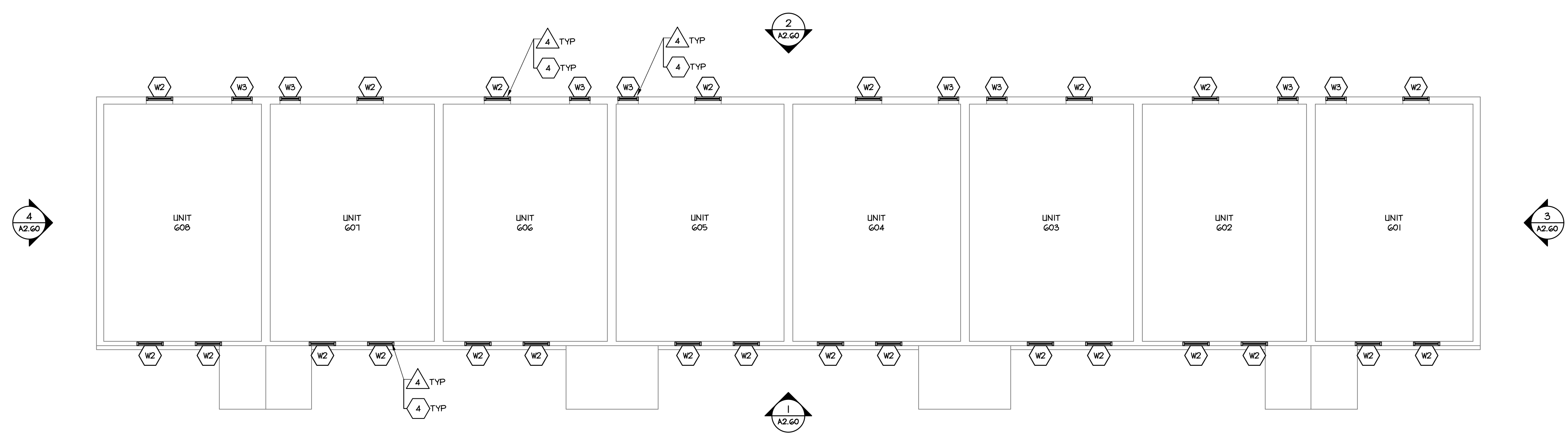
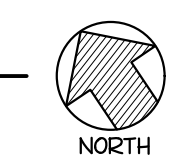
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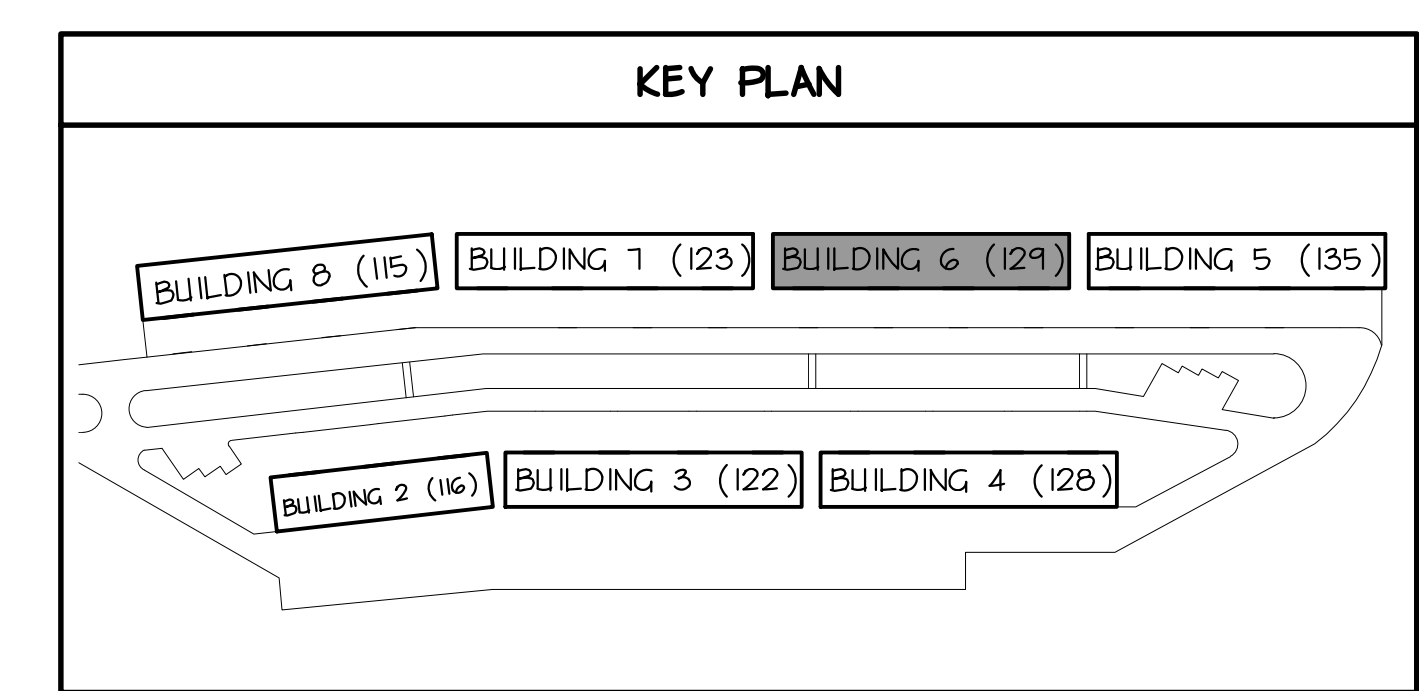
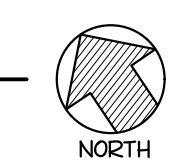
**1 BUILDING 6 BASEMENT PLAN**  
A1.60 SCALE: 1/8" = 1'-0"



**2 BUILDING 6 FIRST FLOOR PLAN**  
A1.60 SCALE: 1/8" = 1'-0"



**3 BUILDING 6 SECOND FLOOR PLAN**  
A1.60 SCALE: 1/8" = 1'-0"



PROJECT

**WEST  
HEMPFIELD  
TOWNHOUSES  
EXTERIOR  
RENOVATIONS**

OWNER

**WESTMORELAND  
COUNTY  
HOUSING  
AUTHORITY**

PROJECT NUMBER

R23-077-05

ISSUED FOR

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ISSUE DATE

JULY 2024

SHEET NAME

**BUILDING 6  
PLANS**

SHEET NUMBER

**A1.60**

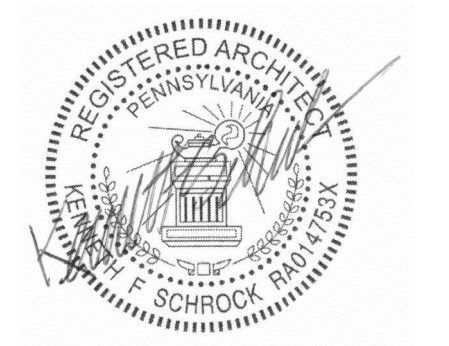
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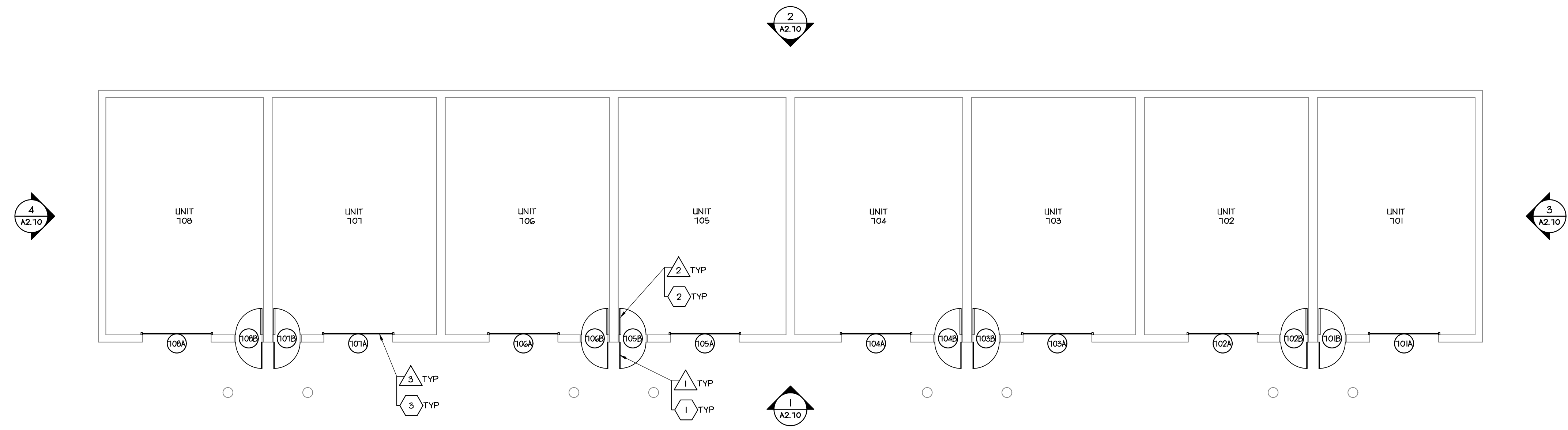
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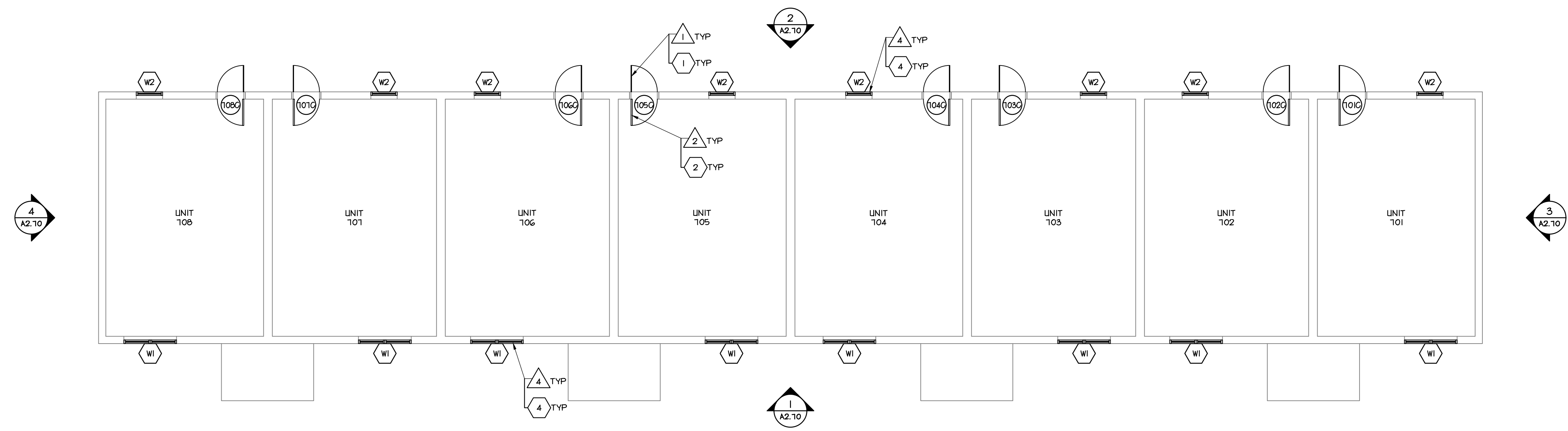
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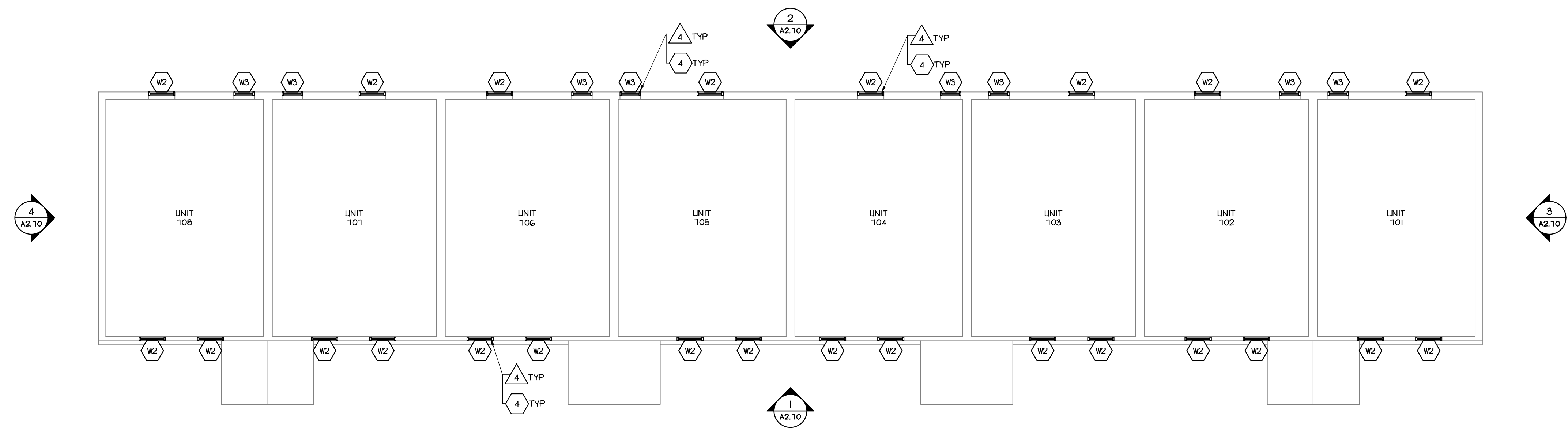
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1. REFER TO SHEET A1.20 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES.



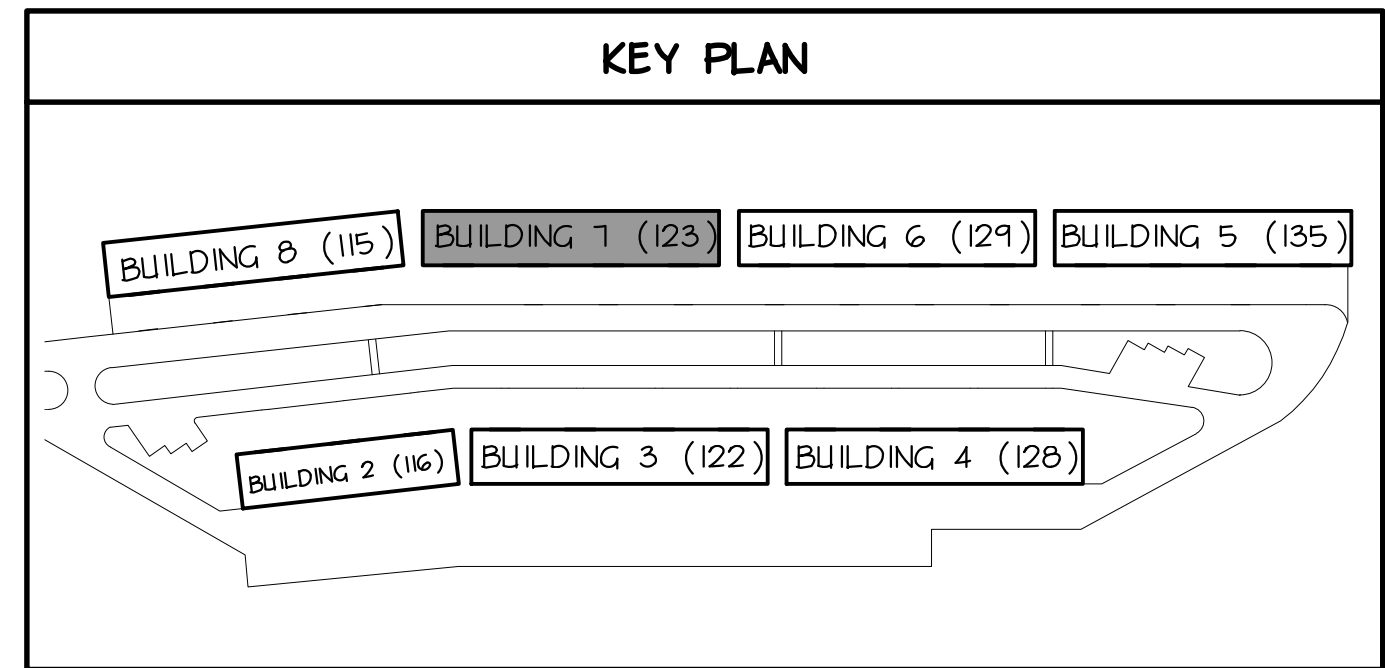
**1 BUILDING 7 BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"



**2 BUILDING 7 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**3 BUILDING 7 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER  
**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER  
R23-077-05

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OWNER REVIEW

ISSUE DATE  
JULY 2024

SHEET NAME

**BUILDING 7 PLANS**

SHEET NUMBER

**A1.70**

P:077 - Westmoreland County Housing Authority R23-077-05 - WCHA West Hempfield Townhouses Exterior Renovations A1.70 (Rev. Date: 7/10/2024 3:31:15 PM, Plotted By: JANE DOLJAC)

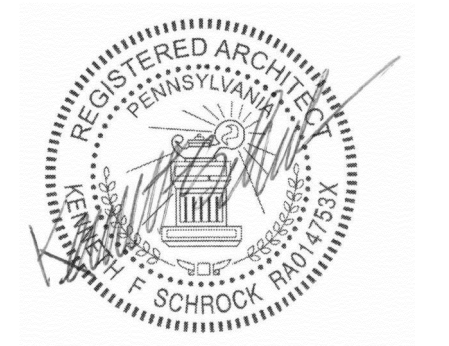




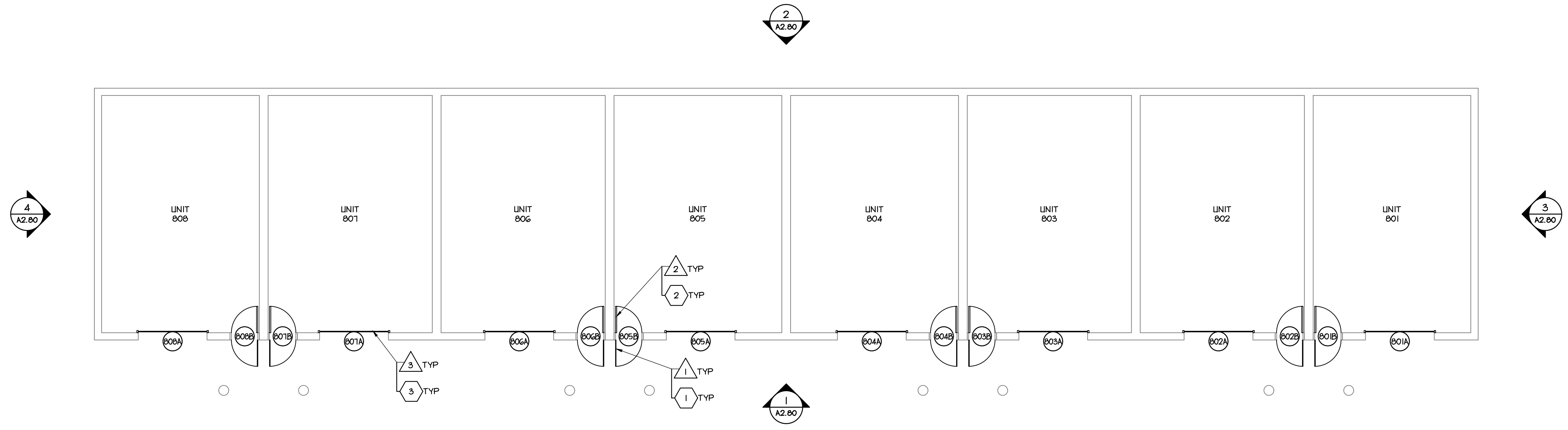
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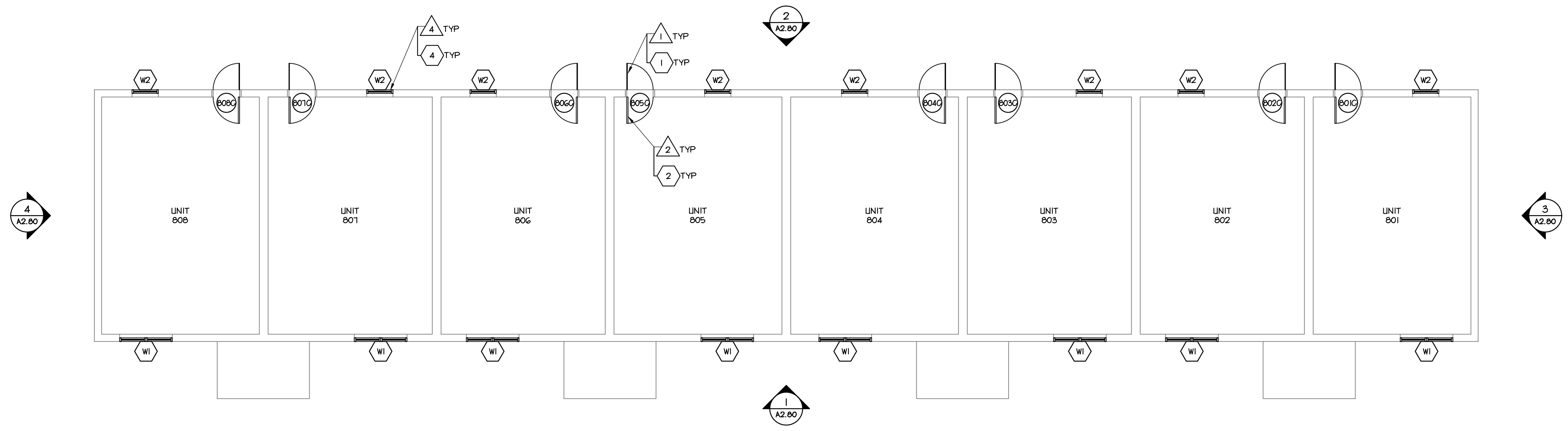
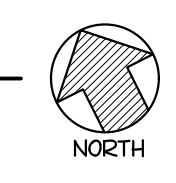
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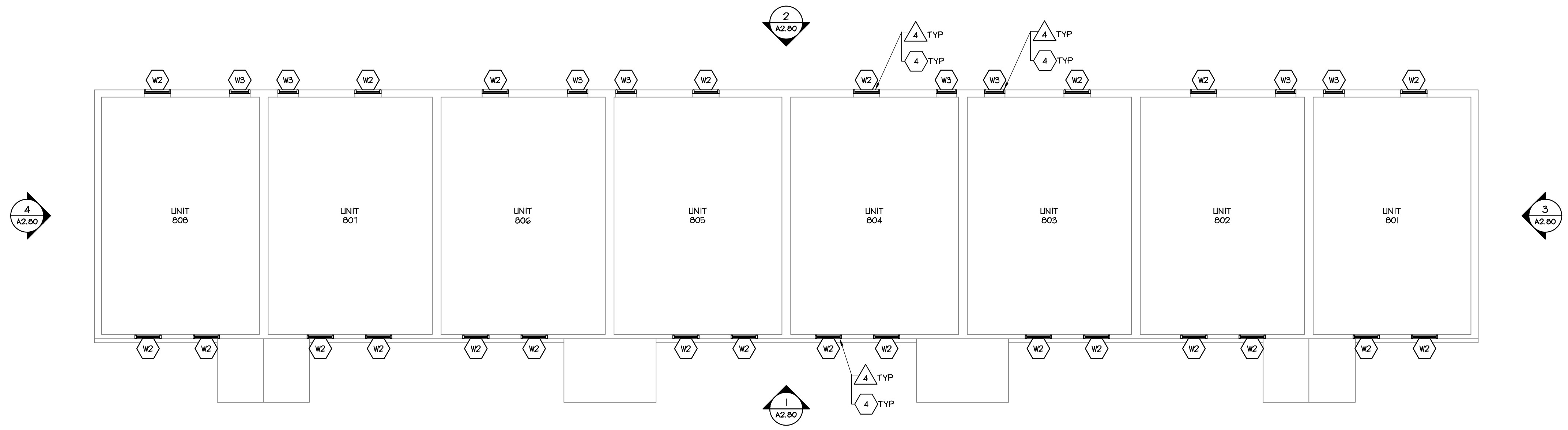
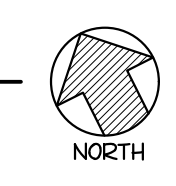
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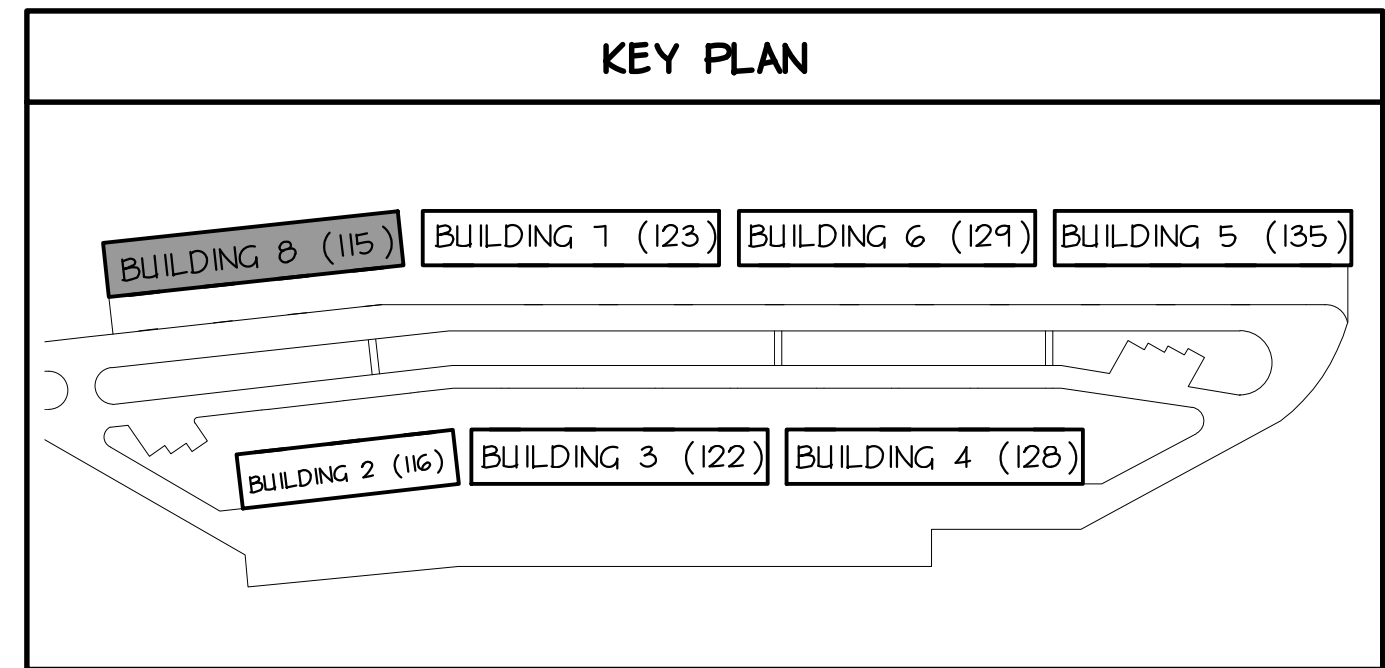
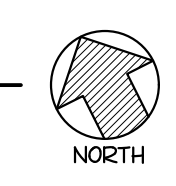
**1 BUILDING 8 BASEMENT PLAN**  
A1.80 SCALE: 1/8" = 1'-0"



**2 BUILDING 8 FIRST FLOOR PLAN**  
A1.80 SCALE: 1/8" = 1'-0"



**3 BUILDING 8 SECOND FLOOR PLAN**  
A1.80 SCALE: 1/8" = 1'-0"



PROJECT  
**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER  
**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER  
R23-077-05

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JULY 2024

SHEET NAME

**BUILDING 8 PLANS**

SHEET NUMBER

**A1.80**

P:077 - Westmoreland County Housing Authority R23-077-05 - WCHA West Hempfield Townhomes Exterior Renovations A1.80.dwg, Date: 7/10/2024 4:29:38 PM, Plotted By: JANE BOULJAC

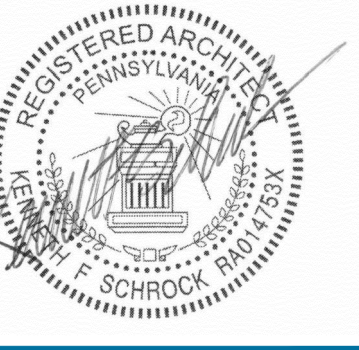


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PROJECT

**WEST  
HEMPFIELD  
TOWNHOUSES  
EXTERIOR  
RENOVATIONS**

OWNER  
**WESTMORELAND  
COUNTY  
HOUSING  
AUTHORITY**

PROJECT NUMBER

**R23-077-05**

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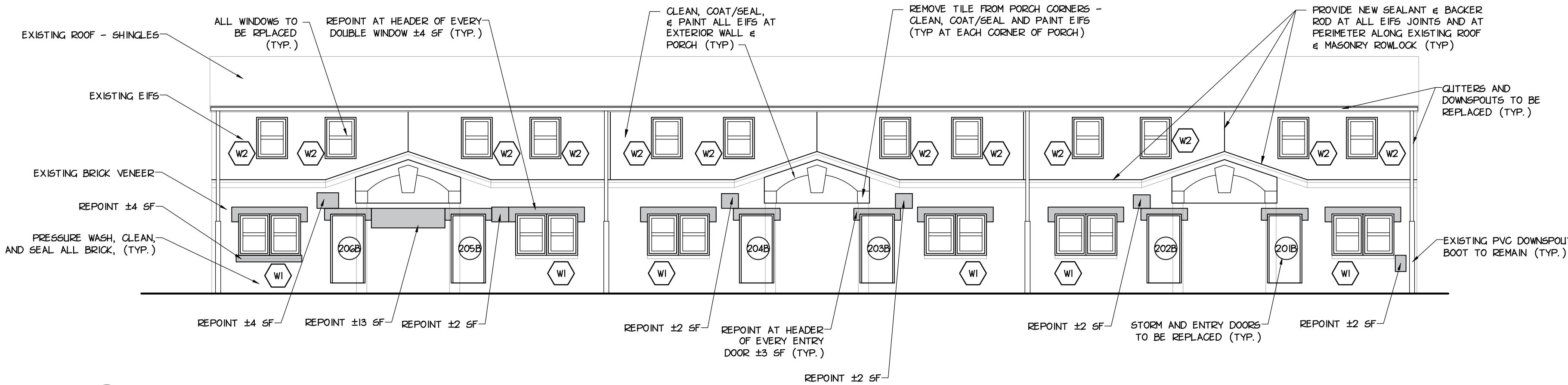
**JULY 2024**

SHEET NAME

**BUILDING 2  
ELEVATIONS**

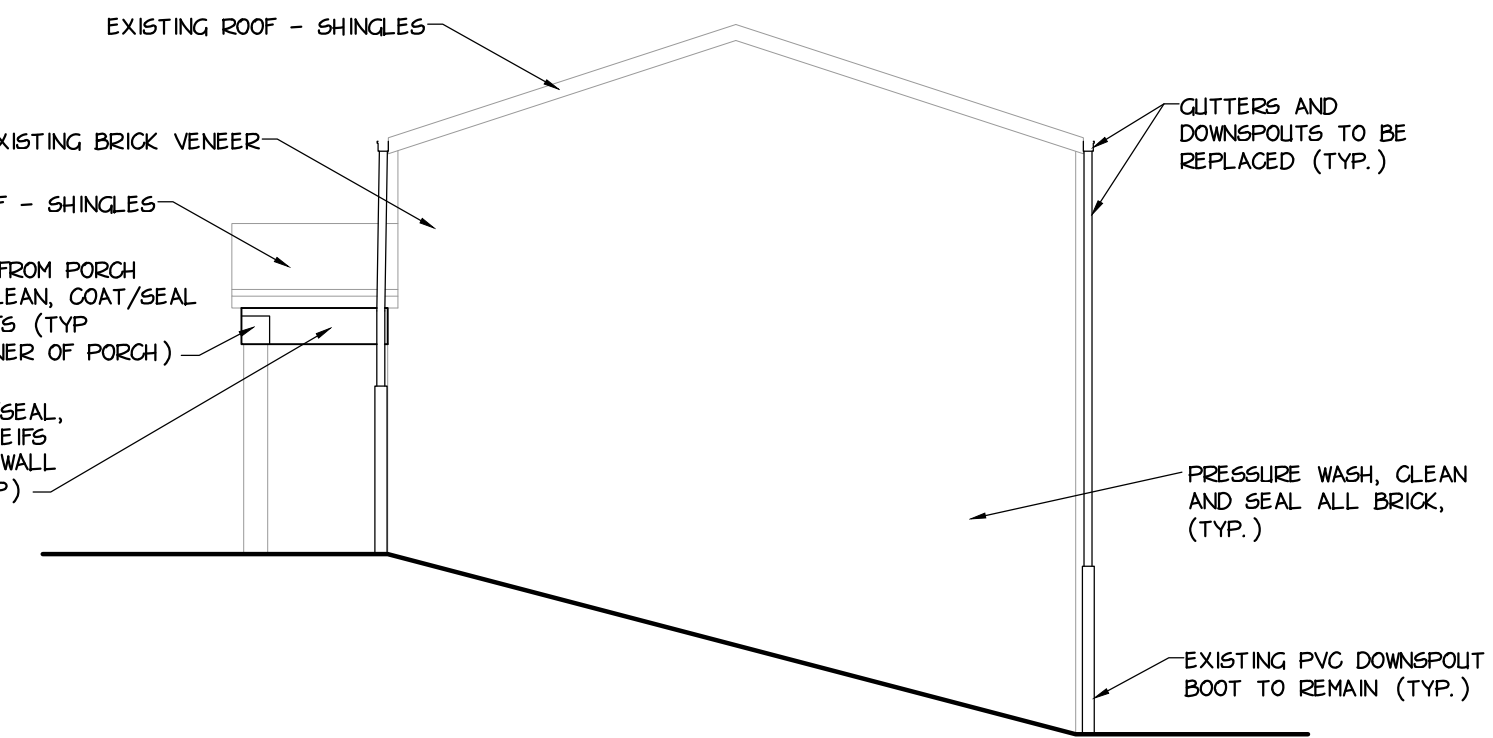
SHEET NUMBER

**A2.20**



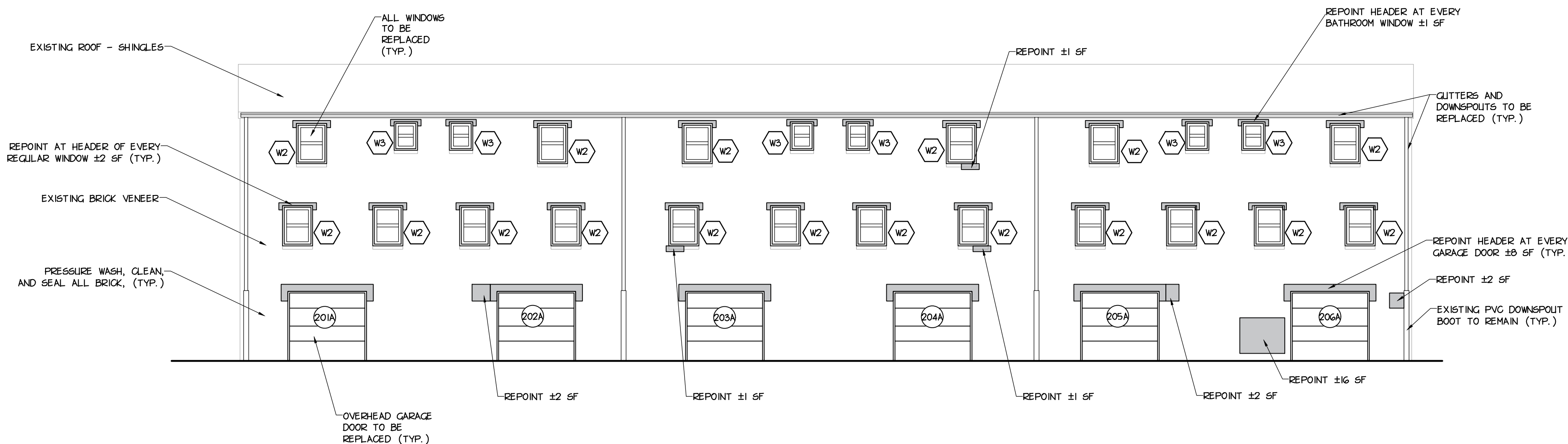
**1 FRONT ELEVATION**

A2.20 SCALE: 1/8" = 1'-0"



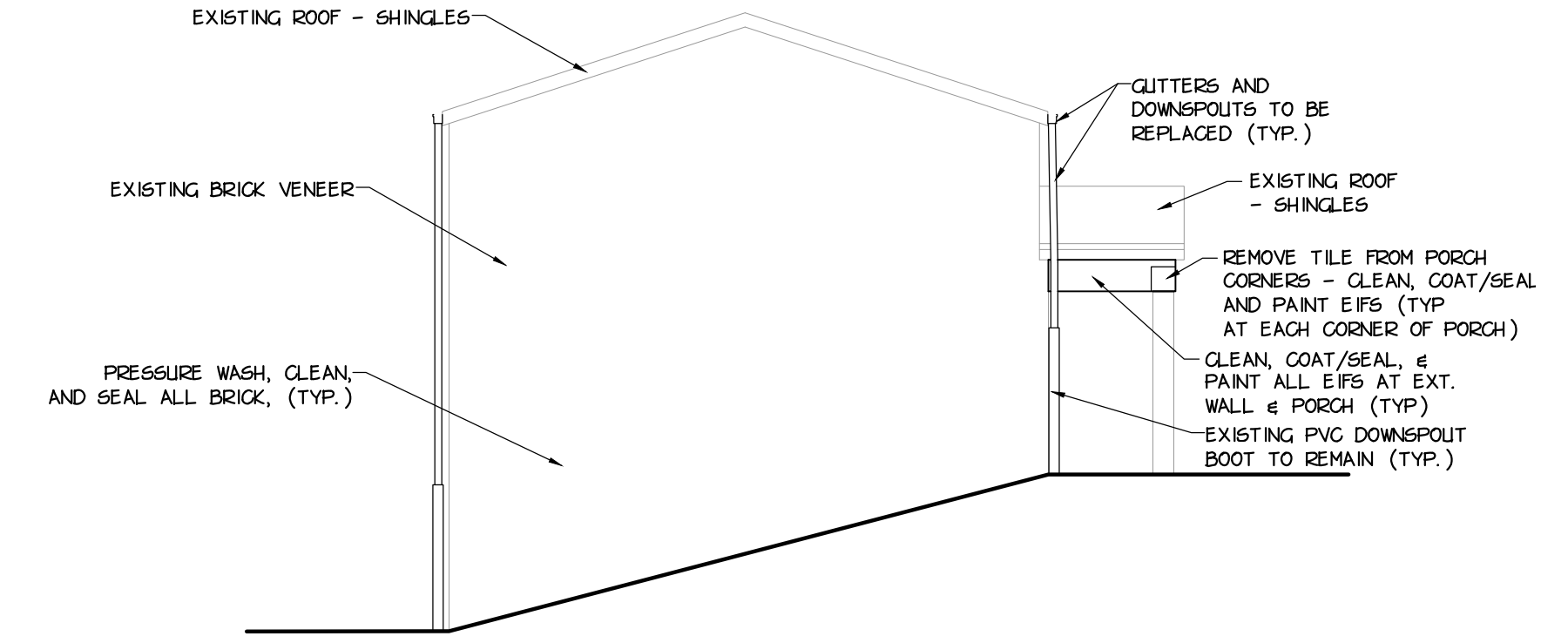
**3 RIGHT ELEVATION**

A2.20 SCALE: 1/8" = 1'-0"



**2 REAR ELEVATION**

A2.20 SCALE: 1/8" = 1'-0"



**4 LEFT ELEVATION**

A2.20 SCALE: 1/8" = 1'-0"

**MASONRY RESTORATION NOTES**

**SAFETY**  
THE CONTRACTOR SHALL PERFORM ALL WORK ACTIVITIES IN ACCORDANCE WITH SPECIFICATION SECTION 013500 SAFETY, AND ALL APPLICABLE HEALTH AND SAFETY REGULATIONS INCLUDING THOSE ESTABLISHED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE U.S. DEPARTMENT OF LABOR. 1) THE CONTRACTOR SHALL PROVIDE SIGNAGE AND BARRICADES TO SUFFICIENTLY PROTECT RESIDENTS DURING OVERHEAD MASONRY RESTORATION ACTIVITIES. THIS INCLUDES THE INSTALLATION OF APPROPRIATE SCAFFOLDING AND SAFETY PLATFORMS OVER SIDEWALKS TO PROTECT RESIDENTS FROM FALLING DEBRIS. EVERY EFFORT SHALL BE MADE BY THE CONTRACTOR TO INFORM AND PROTECT RESIDENTS FROM FALLING DEBRIS AND INJURY. 2) A DESIGNATED SAFETY OFFICER AS PROVIDED BY THE CONTRACTOR SHALL BE ONSITE DURING ALL OVERHEAD RESTORATION ACTIVITIES. 3) EMERGENCY DATA SHALL BE KEPT ONSITE FOR USE BY THE SAFETY OFFICER OR OTHERS AS NEEDED. 4) THE CONTRACTOR SHALL ABIDE BY THE SAFETY AGREEMENT BETWEEN OWNER AND COUNTER WHICH IS PART OF SPECIFICATION SECTION 01-3500 SAFETY.

**REPOINTING NOTES**  
1) THOROUGHLY CLEAN THE MASONRY EXTERIOR OF THE BUILDING IN ACCORDANCE WITH THE PROJECT REQUIREMENTS. 2) THIS PROJECT WILL INCLUDE PARTIAL REPOINTING OF THE EXTERIOR MORTAR JOINTS. ESTIMATES OF THE SQUARE FOOTAGE FOR EACH BUILDING FACE ARE PROVIDED ON THE CONTRACT DRAWINGS. 3) THOROUGHLY INSPECT THE WORK AREA AND IDENTIFY RECTANGULAR AREAS WHICH WILL REQUIRE REPOINTING. INFORM THE OWNER AND ENGINEER OF THE GENERAL QUANTITY IN SQUARE FEET OF REPOINTING REQUIRED FOR EACH BUILDING FACE ONCE INSPECTED. THE INSPECTION SHOULD CONSIDER THE ITEMS IDENTIFIED IN NOTE 4 BELOW. 4) REPOINT MORTAR JOINTS WHERE ANY OF THE FOLLOWING CONDITIONS OCCUR:  
A. MORTAR EROSION EXCEEDING 1/4" IN DEPTH  
B. CRACKING MORTAR  
C. MORTAR WITH VOIDS  
D. HAIRLINE CRACKS (DEPTH OF 1/2" ACCEPTING THICKNESS EQUAL TO A PLASTIC CREDIT CARD) IN MORTAR  
E. CRACKS BETWEEN THE BRICK AND MORTAR  
5) SELECT MATERIALS AND CREATE AN APPROVED MOCKUP. ONCE THE ROUGH QUANTITIES ARE APPROVED FOR A SPECIFIC WORK AREA, PROCEED AS OUTLINED BELOW:  
A. SELECT MORTAR MATERIALS OF APPROPRIATE STRENGTH AND APPEARANCE TO SUCCESSFULLY COMPLETE THIS PHASE OF THE WORK.  
B. PERFORM UP TO 3 - 48" X 48" MOCKUPS FOR THE OWNER AND ENGINEER TO REVIEW. REPOINTING WORK CANNOT PROCEED UNTIL THE FINAL MOCKUP IS APPROVED FOR COLOR, TEXTURE, AND JOINT FINISH.  
6) MORTAR REMOVAL/JOINT PREPARATION: PROCEED WITH REMOVAL OF MORTAR JOINT MATERIAL TO A MINIMUM DEPTH OF 1/2" IN MANAGEABLE SECTIONS. UTILIZE APPROVED TOOLS AND METHOD. THOROUGHLY REMOVE THE OLD MORTAR WITHIN THE WORK AREA AND AVOID DAMAGE TO THE BRICK MASONRY UNITS. CLEAN THE RAKED JOINT OF ALL LOOSE PARTICLES BY BRUSHING, RINSING WITH WATER, OR BLOWING WITH AIR.  
7) PREPARE AND THOROUGHLY MIX THE APPROVED MORTAR FOR USE. THE APPROVED MORTAR SHOULD MEET THE REQUIREMENTS OF ASTM C 210. APPROVED MORTAR SHOULD BE PRE-HYDRATED TO REDUCE SHRINKAGE, SHOULD BE WATER-TIGHT, AND SHOULD MATCH THE COLOR AND TEXTURE OF THE EXISTING BUILDING MORTAR.  
8) MOISTEN THE WORK SURFACE AND APPLY THE APPROVED MORTAR MIX INTO THE JOINTS WITH A NARROW TUCKPOINTING TOOL IN 1/4" LIFTS. AVOID CREATING AIR POCKETS OR VOIDS. THE FINAL LIFT SHALL CREATE A CONCAVE TOOLED JOINT WITH A SMOOTH SURFACE THAT IS TIGHTLY COMPRESSED AND LANDS FLUSH WITH THE OUTSIDE EDGE OF THE BRICK.  
9) REMOVE LOOSE MORTAR OR BURRS FROM THE WORK AREA USING A MASONRY BRUSH. PROCEED TO THE NEXT WORK AREA AND REPEAT.

**REMOVE AND REPLACE BROKEN OR DAMAGED BRICK**  
1) ESTABLISH A SAFETY ZONE AROUND AND UNDER THE WORK AREA. INSTALL BARRICADES AND WARNING SIGNS TO KEEP PEDESTRIANS FROM WANDERING INTO AND UNDER THE WORK AREA.  
2) SELECT SUITABLE PRODUCTS (BRICK, MORTAR, ETC.) AND PROVIDE A MOCKUP FOR REVIEW AND APPROVAL.  
3) CONDUCT AN ASSESSMENT TO ESTABLISH THE LIMITS OF BRICK THAT NEEDS TO BE REMOVED AND REPLACED, AND MARK APPROPRIATELY.  
4) CAREFULLY REMOVE THE BROKEN OR DAMAGED BRICK IDENTIFIED FOR REPLACEMENT.  
5) RECONSTRUCT THE REMOVED BRICK IN SECTIONS INSTALLING BRICK TIES AT APPROVED INTERVALS AS YOU WORK. MATCH COURSES AND HEAD JOINTS WHERE POSSIBLE.  
6) COMPLETE THE BRICK REPLACEMENT BY TOOLING THE MORTAR JOINTS TO MATCH EXISTING. USE A MASONRY BRUSH TO REMOVE BURRS AND PERFORM A FINAL CLEANUP OF THE WALL.  
7) CLEANUP: REMOVE ANY EXCESS MORTAR OR DEBRIS FROM THE REPAIR AREA AND SURROUNDING AREAS. DISPOSE OF WASTE MATERIALS RESPONSIBLY AND ENSURE THAT THE WORK AREA IS LEFT CLEAN AND TIDY.  
8) CONDUCT A FINAL INSPECTION OF THE REPAIR TO ENSURE THAT THE WORK HAS BEEN COMPLETED TO A HIGH STANDARD AND MEETS THE NECESSARY SPECIFICATIONS. MAKE ANY NECESSARY ADJUSTMENTS OR TOUCH-UPS AS NEEDED BEFORE CONSIDERING THE REPAIR COMPLETE.

**CLEAN AND SEAL BRICK**  
1) BEFORE STARTING, INSPECT THE BUILDING EXTERIOR AND PERFORM ANY REPOINTING OR BRICK REPLACEMENT AS INDICATED BY THE CONTRACT DOCUMENTS.  
2) COVER PLANTS, OUTDOOR FURNITURE, AND OTHER ITEMS NEAR THE BUILDINGS TO PROTECT THEM FROM DETERGENT AND DEBRIS.  
3) CLEAR THE AREA AROUND THE BUILDINGS TO ENSURE SAFE ACCESS.  
4) FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR DILUTION AND APPLICATION OF THE DETERGENT CLEANER.  
5) BEFORE STARTING, TEST THE PRESSURE WASHER IN AN INCONSPICUOUS AREA TO ENSURE IT'S SET TO AN APPROPRIATE PRESSURE AND WON'T DAMAGE THE BRICK.  
6) START FROM THE TOP OF EACH BUILDING AND WORK YOUR WAY DOWN TO PREVENT STREAKING. HOLD THE PRESSURE WASHER NOZZLE AT A 45-DEGREE ANGLE TO THE BRICK SURFACE TO AVOID DAMAGING THE MORTAR. WORK IN SMALL SECTIONS, OVERLAPPING EACH PASS SLIGHTLY TO ENSURE THOROUGH CLEANING.  
7) FOR STUBBORN STAINS, USE A BRUSH OR SCRUBBER TO AGITATE THE DETERGENT ON THE AFFECTED AREAS BEFORE RINSING WITH THE PRESSURE WASHER.  
8) ONCE YOU'VE CLEANED ALL SURFACES, RINSE THE BUILDINGS THOROUGHLY WITH CLEAN WATER TO REMOVE ANY DETERGENT RESIDUE.  
9) MIX OR PREPARE THE SEALER ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.  
10) USE A BRUSH, ROLLER, OR SPRAYER TO APPLY THE SEALER EVENLY TO THE CLEAN, DRY BRICK SURFACES. WORK IN SMALL SECTIONS.  
11) LET THE SEALER DRY COMPLETELY ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS BEFORE ALLOWING ANY CONTACT WITH THE SURFACES.  
12) APPLY SEALANT AS RECOMMENDED IN A NUMBER OF COATS NECESSARY TO ACHIEVE A UNIFORM APPEARANCE.  
13) ONCE THE SEALER IS DRY, INSPECT THE BUILDINGS FOR ANY MISSED SPOTS OR UNEVEN COVERAGE. TOUCH UP AS NEEDED.  
14) CONDUCT A FINAL INSPECTION TO ENSURE ALL BUILDINGS ARE CLEAN, SEALED, AND FREE FROM ANY DAMAGE.

**MASONRY RESTORATION MATRIX**

BUILDING NUMBER	AREA TO REPOINT	AREA TO REPLACE
BUILDING 2	180 SF	0 SF
BUILDING 3	350 SF	28 SF
BUILDING 4	249 SF	5 SF
BUILDING 5	249 SF	22 SF
BUILDING 6	219 SF	20 SF
BUILDING 7	343 SF	21 SF
BUILDING 8	331 SF	8 SF
TOTAL SF	2,000 SF	125 SF

**MASONRY RESTORATION LEGEND**

SHADED AREA	DESCRIPTION
[Light Gray Shaded Box]	AREA INDICATED ON ELEVATIONS FOR MASONRY REPOINTING
[Dark Gray Shaded Box]	AREA INDICATED ON ELEVATIONS FOR MASONRY REPLACEMENT

**EIFS RESTORATION NOTES**

**CLEANING:**  
-NET EIFS EXTERIOR USING A LOW PRESSURE SPRAYER AND WATER  
-APPLY A CLEANING SOLUTION DESIGNED TO REMOVE EIFS STAINING AND MILDEW AT A PRESSURE OF 30-50 PSI. CAUTION SHALL BE TAKEN TO NOT USE A HIGH-PRESSURE SPRAYER THAT MAY DAMAGE THE EXTERIOR FINISH OF THE EIFS  
-RINSE EIFS WALL USING HIGHER PRESSURE WATER (<600 PSI) TO REMOVE THE CLEANING SOLUTION AND EMBEDDED MILDEW AND SURFACE CONTAMINANTS  
**EIFS COATING AND AESTHETIC IMPROVEMENT:**  
-FOLLOWING CLEANING PROCEDURES FOR ENTIRE SURFACE OF EIFS. REPAIR ANY AREAS OF DAMAGE  
-SPRAY APPLY TWO COATS OF AN EMULSIFIED ACRYLIC COATING TO THE SURFACE OF THE EIFS AT THE COAT MANUFACTURERS RECOMMENDED APPLICATION RATE

**GENERAL NOTES**

- ALL DEMOLITION DEBRIS, WASTE MATERIAL, RUBBISH AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED. MAINTAIN ROLL-OFF BOXES OR OTHER SUITABLE MEANS TO COLLECT AND CONTAINERIZE DEMOLITION MATERIALS.
- CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF-SITE FACILITY, ALL ROLL-OFF BOXES AND/OR DUMPSTERS WHEN FULL.
- CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING BUT NOT LIMITED TO ELEMENTS OF BUILDING AND SITE SUBJECT TO DAMAGE AS A RESULT OF ROOF WORK.
- FURNISH PROTECTION FROM ELEMENTS FOR AREAS WHICH MAY BE EXPOSED BY UNCOVERING WORK.
- RESTORE ALL AREAS OF THE SITE AND BUILDING(S) NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITIES UPON COMPLETION OF CONSTRUCTION WORK.
- BUILDING TYPES AND QUANTITIES ARE SHOWN TO ASSIST THE CONTRACTORS IN BIDDING WORK. HOWEVER, MINOR VARIATIONS IN THE BUILDING TYPES ARE TO BE EXPECTED. THE CONTRACTOR IS TO INSPECT AND VERIFY ALL QUANTITIES IN THE FIELD PRIOR TO BIDDING.
- REFER TO MASONRY RESTORATION NOTES ON THIS SHEET.
- REFER TO EIFS RESTORATION NOTES ON THIS SHEET.
- REFER TO SHEET A8.01 FOR DOOR SCHEDULE AND DOOR TYPES.
- REFER TO SHEET A8.02 FOR WINDOW TYPES AND DETAILS.
- REFER TO SHEET A2.30 FOR TYPICAL EIFS RESTORATION DETAILS.
- EIFS = EXISTING DEFS (DIRECT-APPLIED EXTERIOR FINISH SYSTEM) AS INSTALLED AS PART OF WHA PREVIOUS RENOVATION PROJECT.

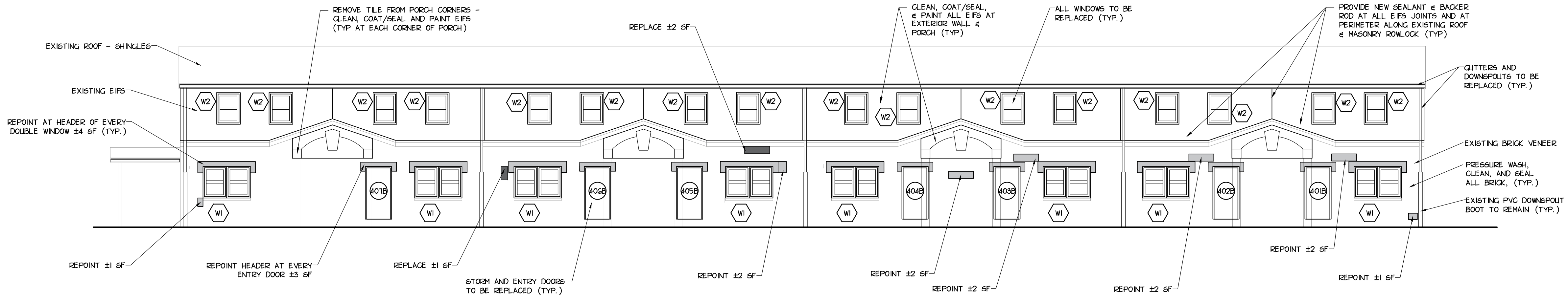
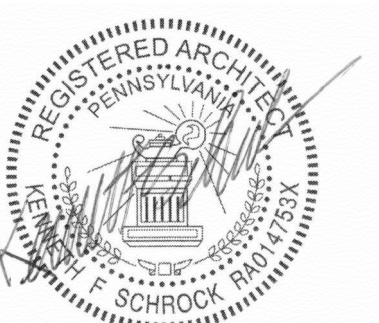




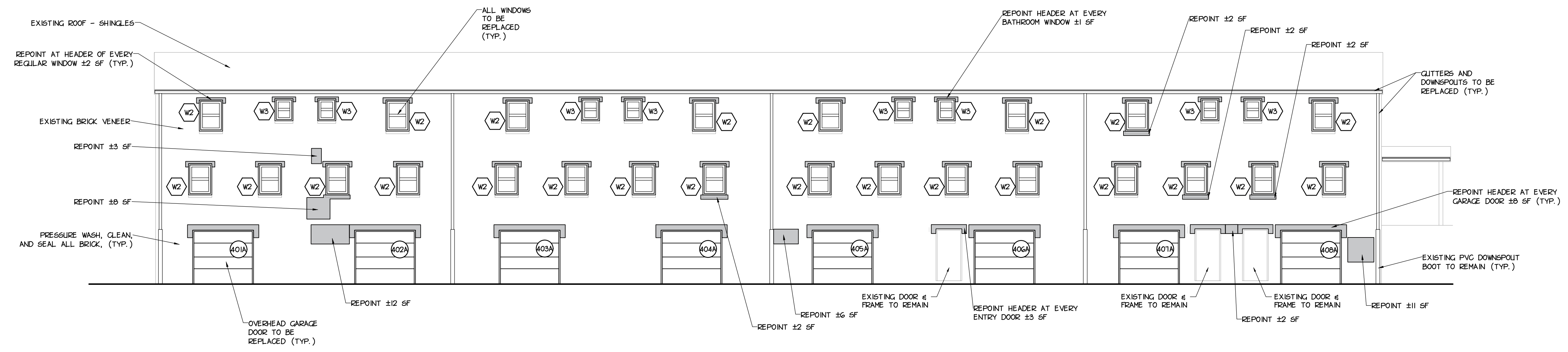
**SLEIGHTER**  
DESIGN

UNIVERSITY BUSINESS PARK  
1060 EBERLY WAY  
LEMONT FURNACE, PA 15456  
724.438.4010  
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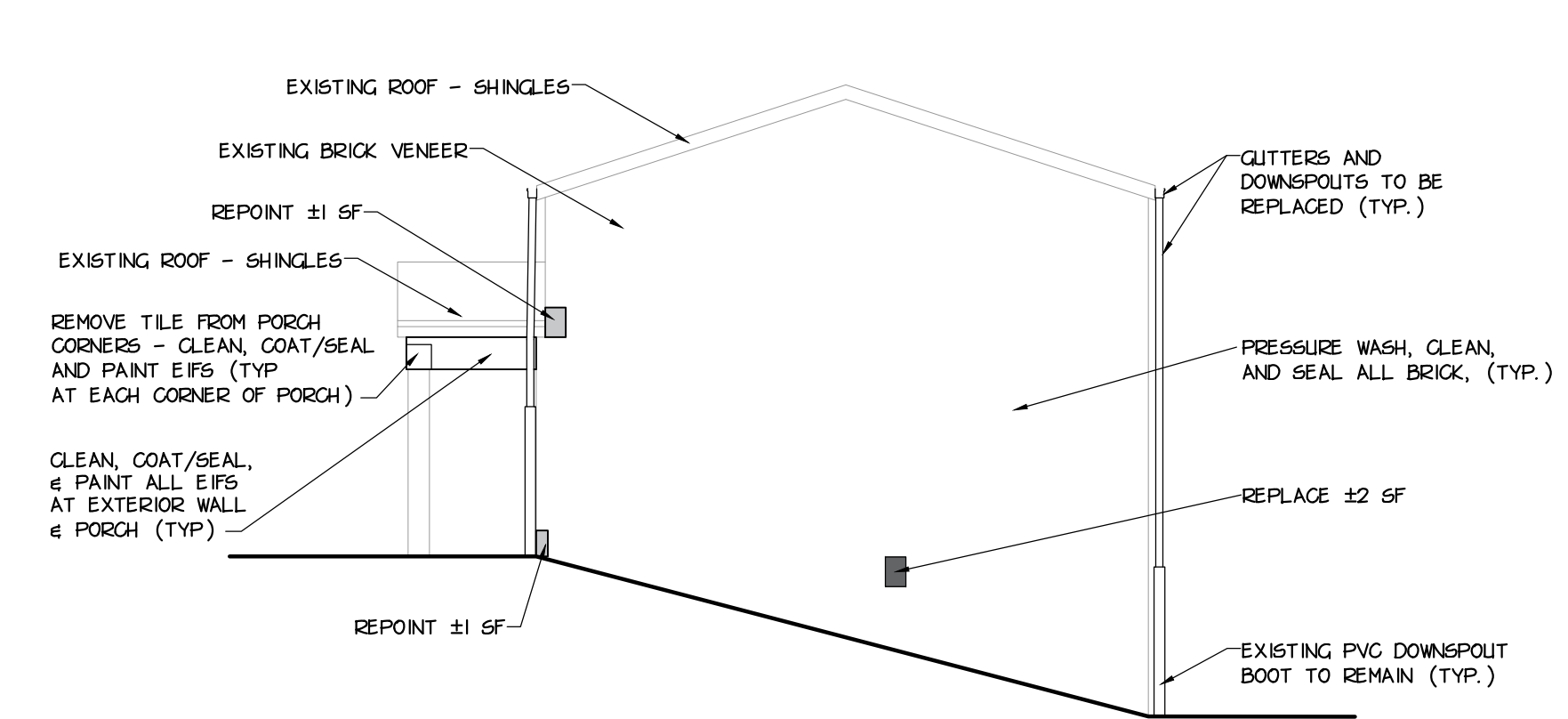
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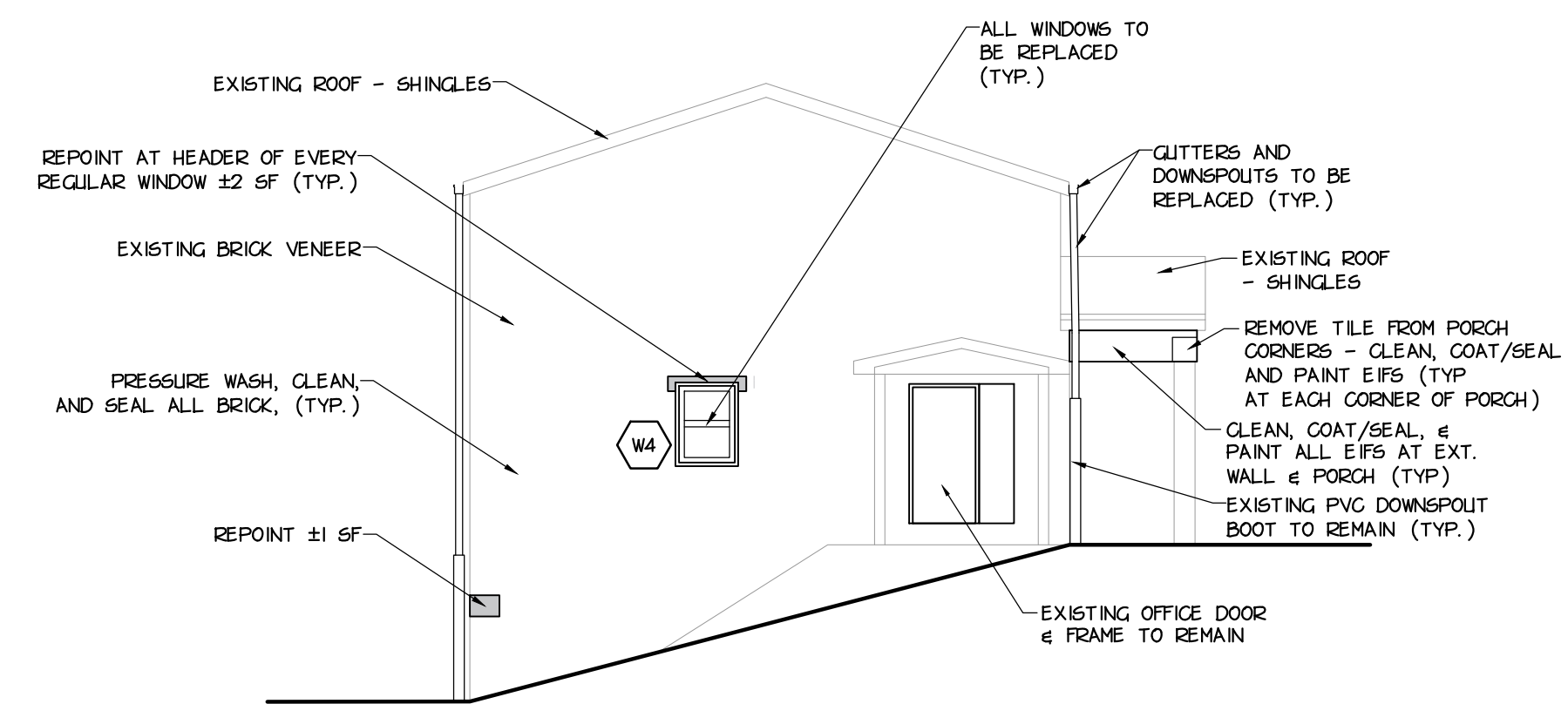
1 FRONT ELEVATION  
A2.40 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION  
A2.40 SCALE: 1/8" = 1'-0"



3 RIGHT ELEVATION  
A2.40 SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION  
A2.40 SCALE: 1/8" = 1'-0"

**DRAWING NOTES**  
1. REFER TO SHEET A2.20 FOR MASONRY RESTORATION NOTES, MASONRY RESTORATION MATRIX, EIFS RESTORATION NOTES, MASONRY RESTORATION LEGEND AND GENERAL NOTES.

PROJECT  
**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER  
**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER  
R23-077-05

ISSUED FOR  
OWNER REVIEW

ISSUE DATE  
JULY 2024

SHEET NUMBER

**BUILDING 4 ELEVATIONS**

SHEET NUMBER

**A2.40**

P:\077 - Westmoreland County Housing Authority\R23-077-05 - West Hempfield Townhouses Exterior Renovations\A2.40.dwg, Date: 7/10/2024 4:37:20 PM, Plotted By: JANE DOULAC

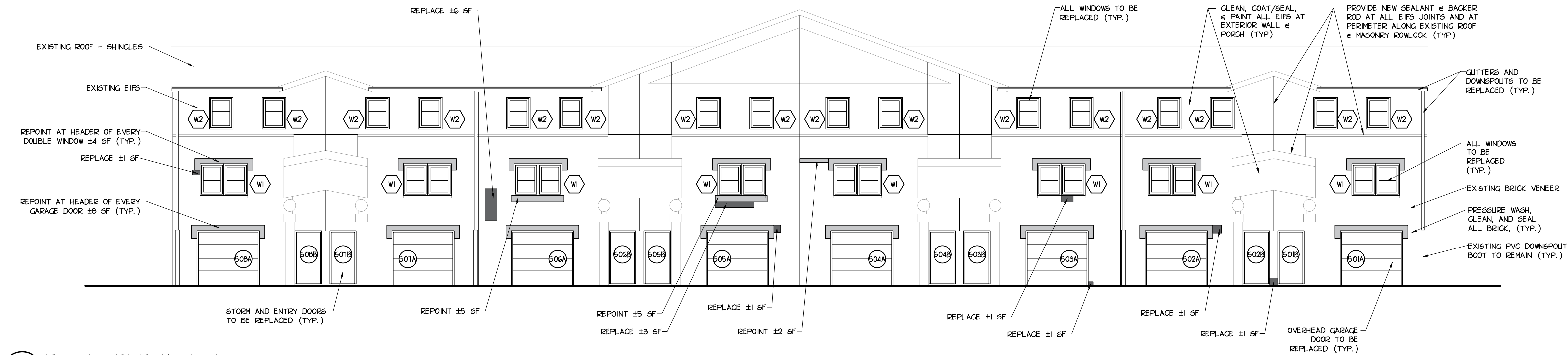
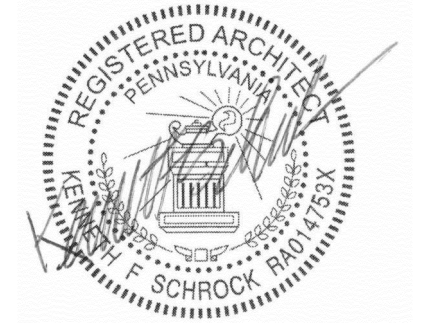


**SLEIGHTER**  
DESIGN

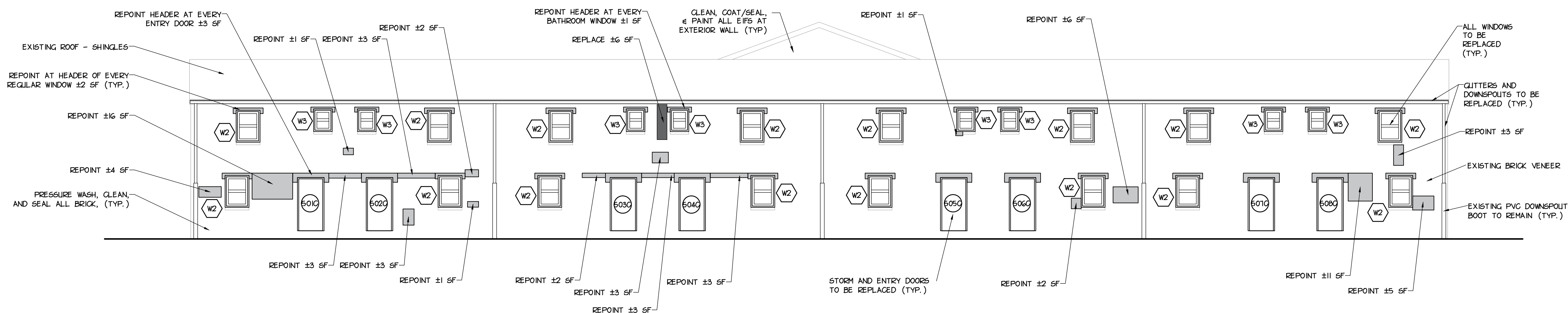
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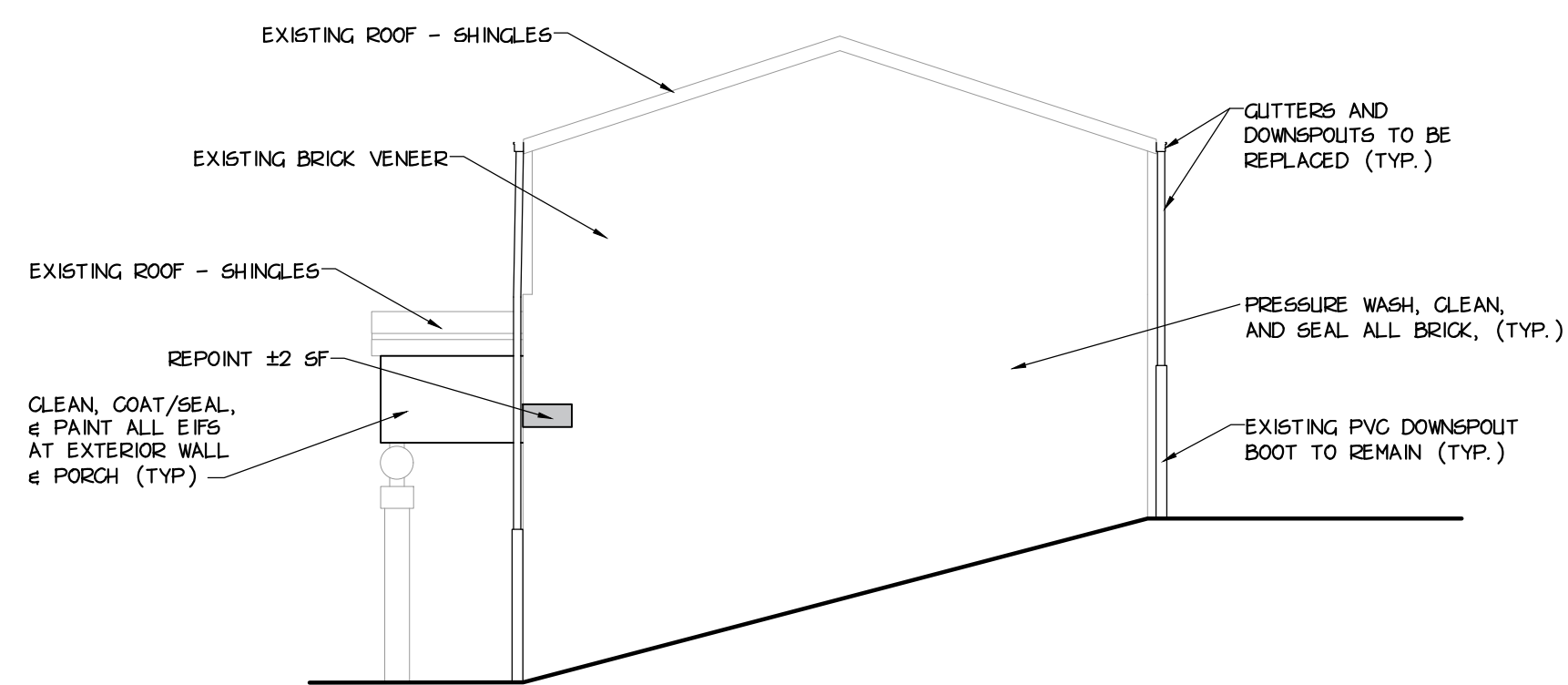
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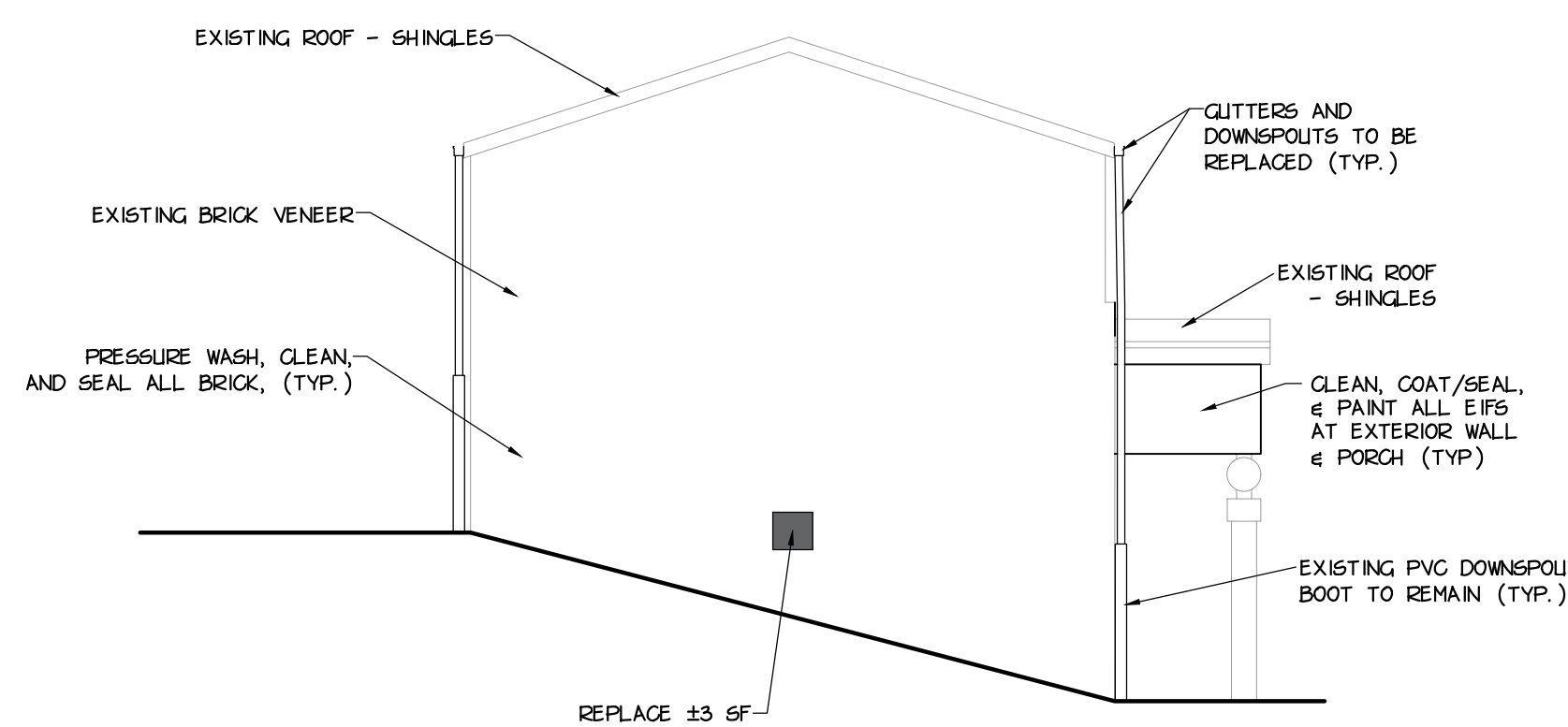
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SCALE: 1/8" = 1'-0"



**2 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

PROJECT

**WEST  
HEMPFIELD  
TOWNHOUSES  
EXTERIOR  
RENOVATIONS**

OWNER

**WESTMORELAND  
COUNTY  
HOUSING  
AUTHORITY**

PROJECT NUMBER

R23-077-05

ISSUED FOR

**OWNER REVIEW**

ISSUE DATE

JULY 2024

SHEET NAME

**BUILDING 5  
ELEVATIONS**

SHEET NUMBER

**A2.50**

**DRAWING NOTES**

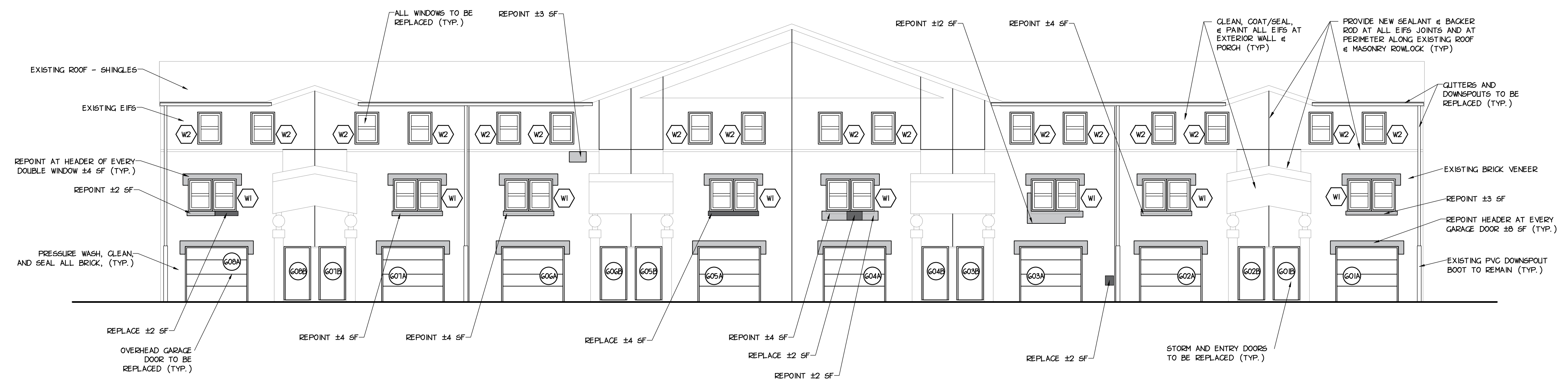
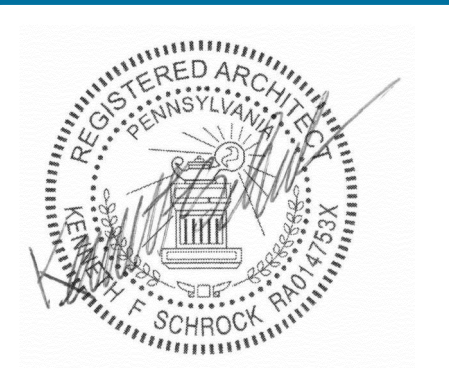
1. REFER TO SHEET A2.20 FOR MASONRY RESTORATION NOTES, MASONRY RESTORATION MATRIX, EIFS RESTORATION NOTES, MASONRY RESTORATION LEGEND AND GENERAL NOTES.



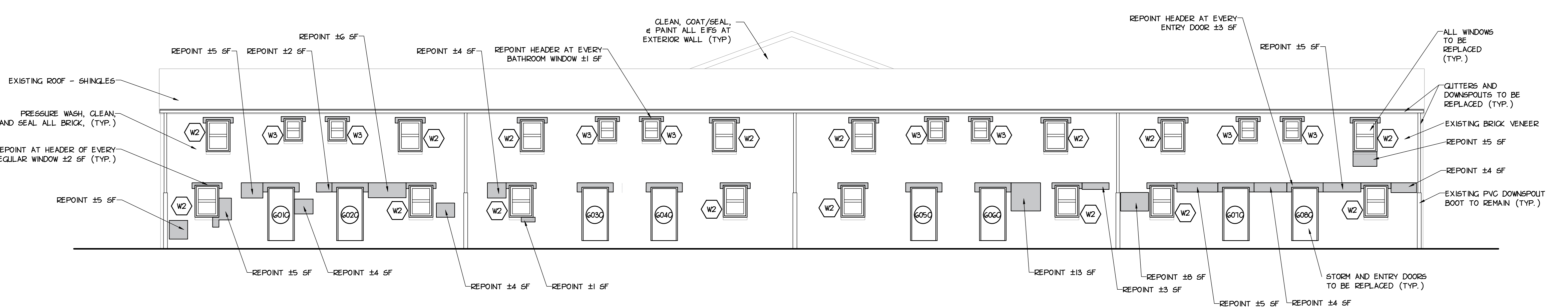
**SLEIGHTER**  
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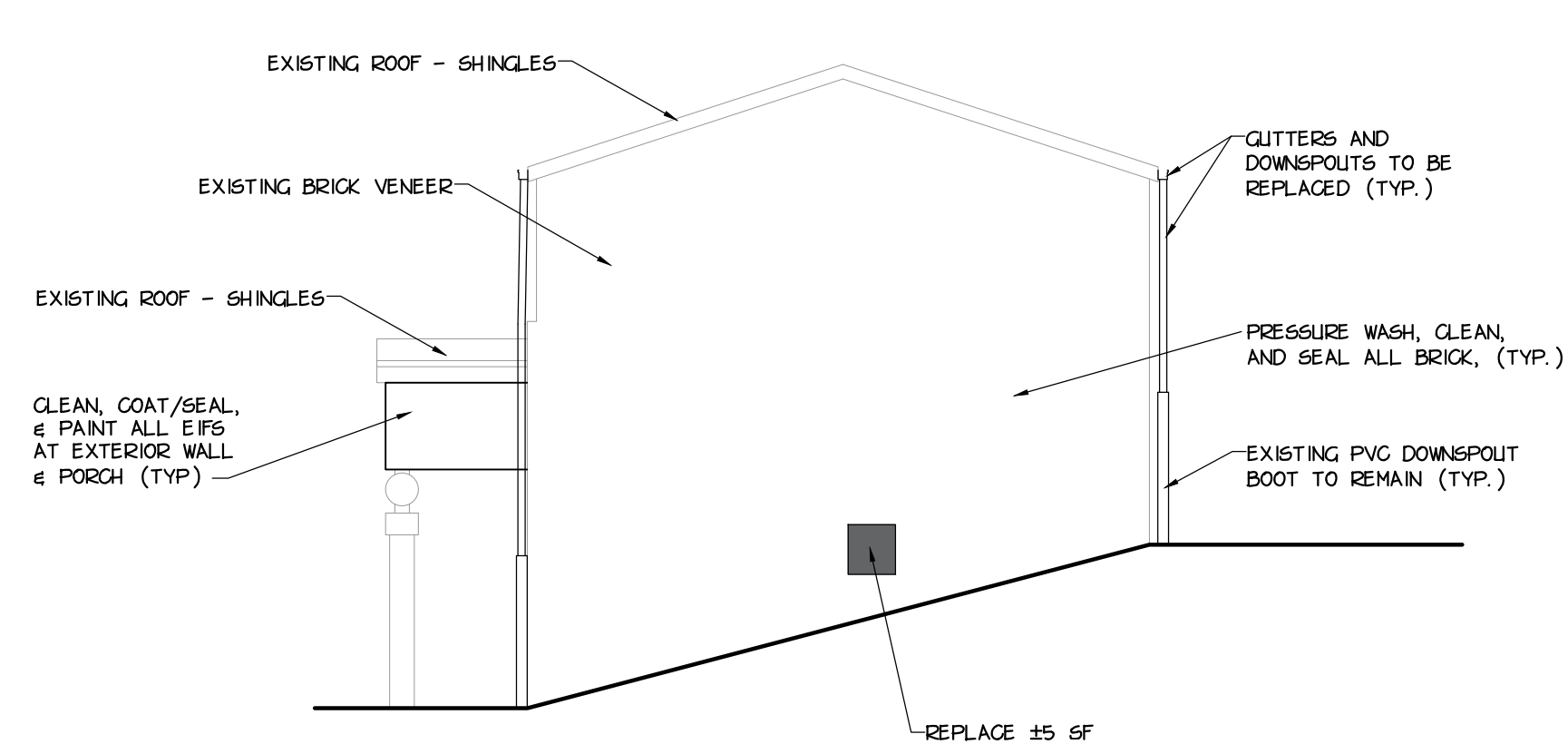
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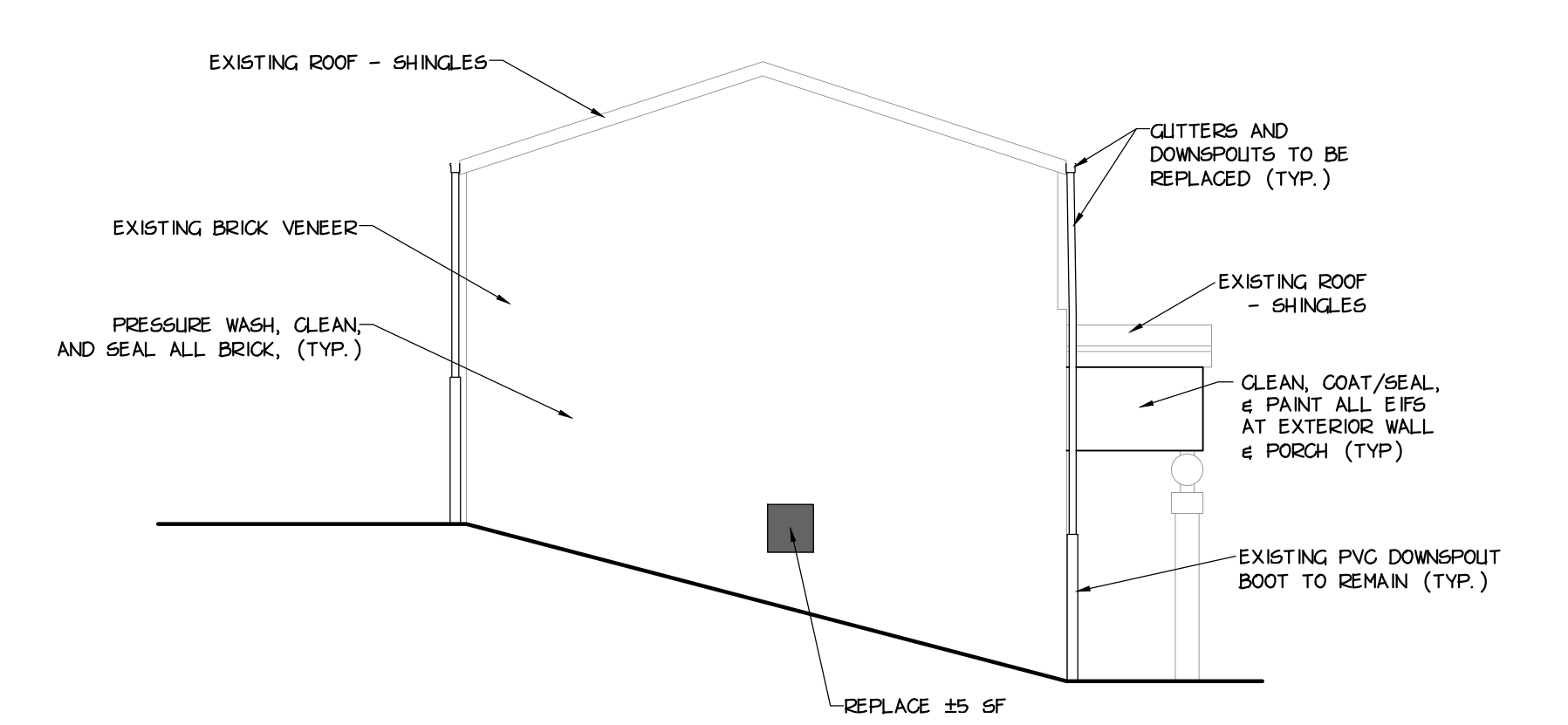
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A2.60 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION  
A2.60 SCALE: 1/8" = 1'-0"



3 RIGHT ELEVATION  
A2.60 SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION  
A2.60 SCALE: 1/8" = 1'-0"

**DRAWING NOTES**  
1. REFER TO SHEET A2.20 FOR MASONRY RESTORATION NOTES, MASONRY RESTORATION MATRIX, EIFS RESTORATION NOTES, MASONRY RESTORATION LEGEND AND GENERAL NOTES.

PROJECT  
**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**  
OWNER  
**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER  
**R23-077-05**  
ISSUED FOR  
**OWNER REVIEW**  
ISSUE DATE  
**JULY 2024**  
SHEET NAME

**BUILDING 6 ELEVATIONS**

SHEET NUMBER  
**A2.60**

P:077 - Westmoreland County Housing Authority R23-077-05 - WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS A2.60 (Rev. Date: 7/10/2024 5:38:20 PM) Plotted By: JANE DOULAC







### DOOR SCHEDULE

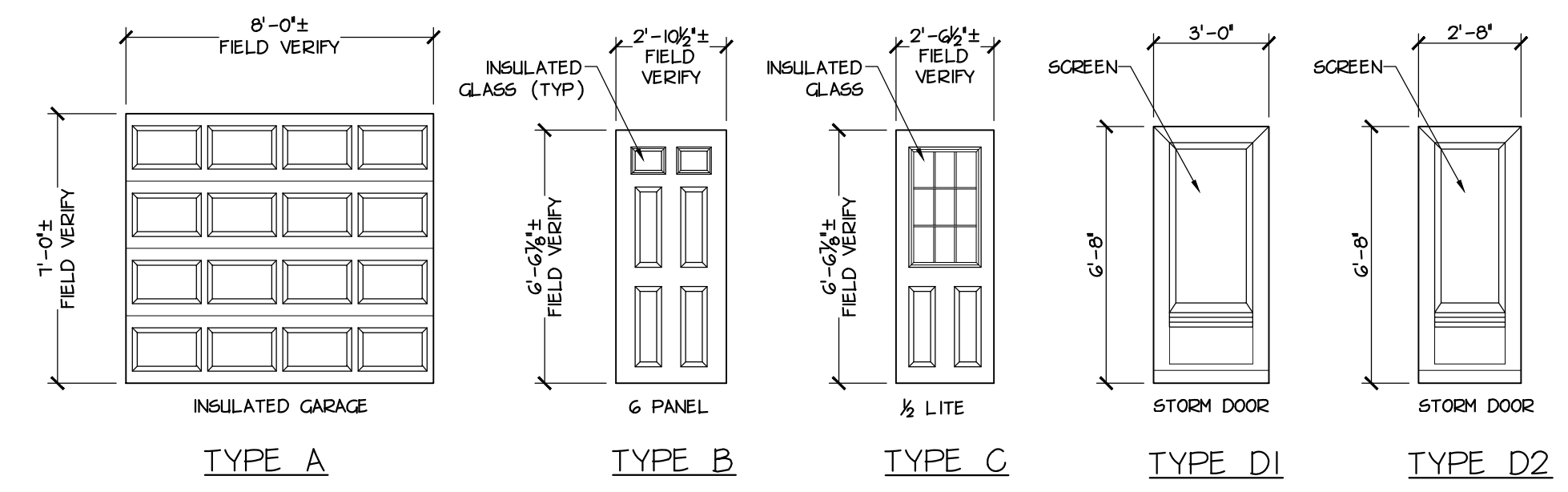
DOOR NUMBER LABEL	DOOR SIZE WIDTH X HT.	TYPE	FRAME		HW	GENERAL REMARKS	LABEL
			MATERIAL	FINISH			
201A	8'-0" X 7'-0"	A	S	E	-		
202A	8'-0" X 7'-0"	A	S	E	-		
203A	8'-0" X 7'-0"	A	S	E	-		
204A	8'-0" X 7'-0"	A	S	E	-		
205A	8'-0" X 7'-0"	A	S	E	-		
206A	8'-0" X 7'-0"	A	S	E	-		
201B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
202B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
203B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
204B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
205B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
206B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
<b>BUILDING 2 (116)</b>							
301A	8'-0" X 7'-0"	A	S	E	-		
302A	8'-0" X 7'-0"	A	S	E	-		
303A	8'-0" X 7'-0"	A	S	E	-		
304A	8'-0" X 7'-0"	A	S	E	-		
305A	8'-0" X 7'-0"	A	S	E	-		
306A	8'-0" X 7'-0"	A	S	E	-		
301B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
302B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
303B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
304B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
305B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
306B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
<b>BUILDING 3 (122)</b>							
401A	8'-0" X 7'-0"	A	S	E	-		
402A	8'-0" X 7'-0"	A	S	E	-		
403A	8'-0" X 7'-0"	A	S	E	-		
404A	8'-0" X 7'-0"	A	S	E	-		
405A	8'-0" X 7'-0"	A	S	E	-		
406A	8'-0" X 7'-0"	A	S	E	-		
401B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
402B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
403B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
404B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
405B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
406B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
<b>BUILDING 4 (128)</b>							
501A	8'-0" X 7'-0"	A	S	E	-		
502A	8'-0" X 7'-0"	A	S	E	-		
503A	8'-0" X 7'-0"	A	S	E	-		
504A	8'-0" X 7'-0"	A	S	E	-		
505A	8'-0" X 7'-0"	A	S	E	-		
506A	8'-0" X 7'-0"	A	S	E	-		
501B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
502B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
503B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
504B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
505B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
506B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
501C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
502C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
503C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
504C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
505C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
506C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
501D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
502D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
<b>BUILDING 5 (135)</b>							
601A	8'-0" X 7'-0"	A	S	E	-		
602A	8'-0" X 7'-0"	A	S	E	-		
603A	8'-0" X 7'-0"	A	S	E	-		
604A	8'-0" X 7'-0"	A	S	E	-		
605A	8'-0" X 7'-0"	A	S	E	-		
606A	8'-0" X 7'-0"	A	S	E	-		
601B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
602B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
603B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
604B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
605B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
606B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
601C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
602C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
603C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
604C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
605C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
606C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
<b>BUILDING 6 (129)</b>							

NOTE:  
1. PROVIDE STORM DOOR TYPE D1.  
2. PROVIDE STORM DOOR TYPE D2.

### DOOR SCHEDULE

DOOR NUMBER LABEL	DOOR SIZE WIDTH X HT.	TYPE	FRAME		HW	GENERAL REMARKS	LABEL
			MATERIAL	FINISH			
101A	8'-0" X 7'-0"	A	S	E	-		
102A	8'-0" X 7'-0"	A	S	E	-		
103A	8'-0" X 7'-0"	A	S	E	-		
104A	8'-0" X 7'-0"	A	S	E	-		
105A	8'-0" X 7'-0"	A	S	E	-		
106A	8'-0" X 7'-0"	A	S	E	-		
101B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
102B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
103B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
104B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
105B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
101C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
102C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
103C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
104C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
105C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
106C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
101D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
102D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
103D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
104D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
105D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
106D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
<b>BUILDING 7 (123)</b>							
801A	8'-0" X 7'-0"	A	S	E	-		
802A	8'-0" X 7'-0"	A	S	E	-		
803A	8'-0" X 7'-0"	A	S	E	-		
804A	8'-0" X 7'-0"	A	S	E	-		
805A	8'-0" X 7'-0"	A	S	E	-		
806A	8'-0" X 7'-0"	A	S	E	-		
801B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
802B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
803B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
804B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
805B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
806B	2'-10 1/2" X 6'-6 3/4"	B	S	E	HW-1		
801C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
802C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
803C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
804C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
805C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
806C	2'-6 1/2" X 6'-6 3/4"	C	S	E	HW-1	2	
801D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
802D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
803D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
804D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
805D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
806D	2'-6 1/2" X 6'-6 3/4"	D	S	E	HW-1	2	
<b>BUILDING 8 (115)</b>							

NOTE:  
1. PROVIDE STORM DOOR TYPE D1.  
2. PROVIDE STORM DOOR TYPE D2.



DOOR NOTE:  
FIELD VERIFY ALL DOOR DIMENSIONS AND EXISTING CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.

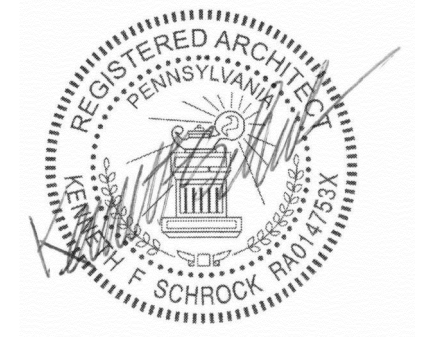
DOOR TYPES  
SCALE: 1/4" = 1'-0"



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PROJECT

**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER

**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER

R23-077-05

ISSUED FOR

OWNER REVIEW

ISSUE DATE

JULY 2024

SHEET NAME

**DOOR SCHEDULE & DOOR TYPES**

SHEET NUMBER

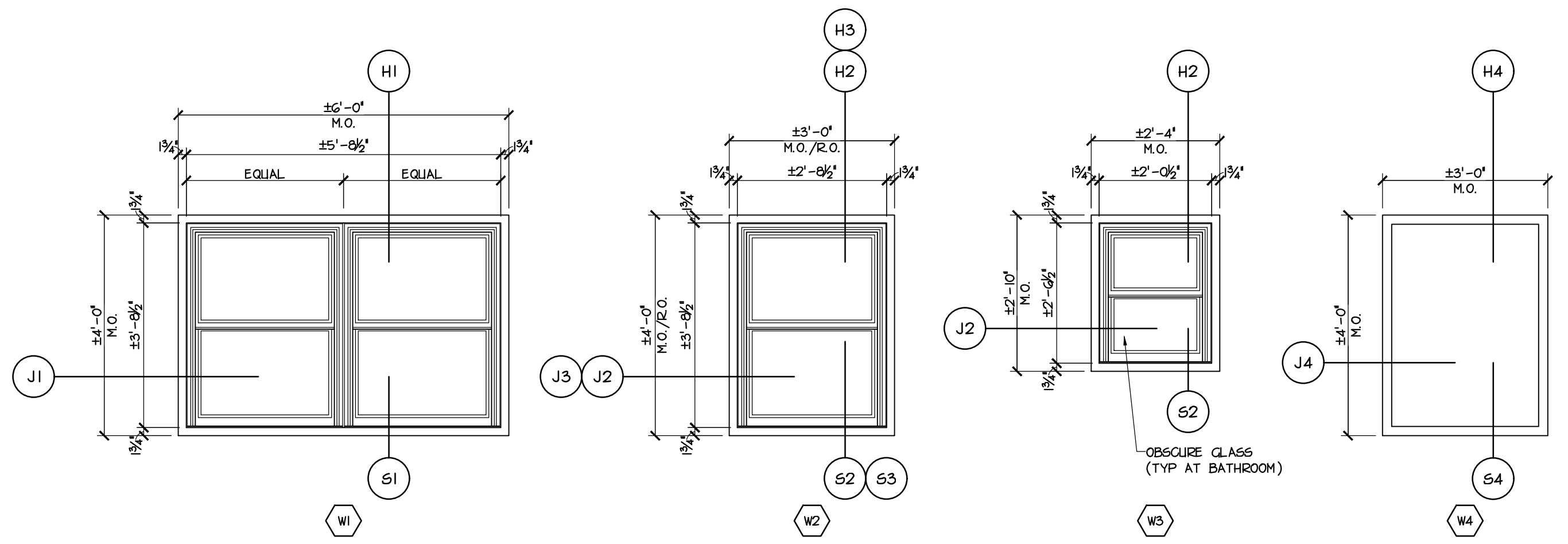
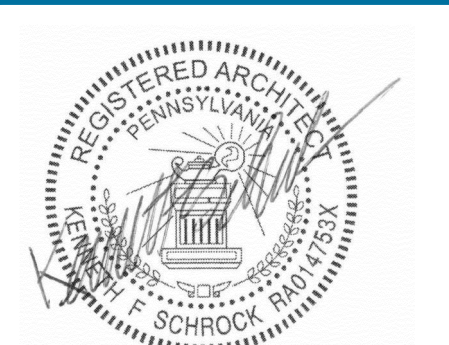
**A8.01**



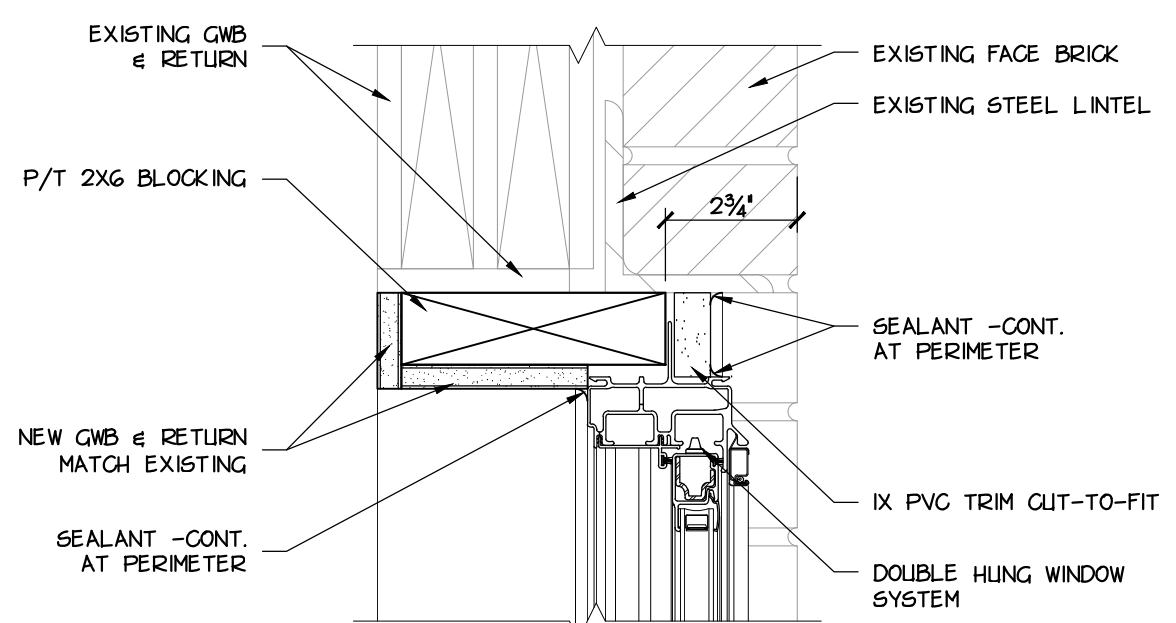
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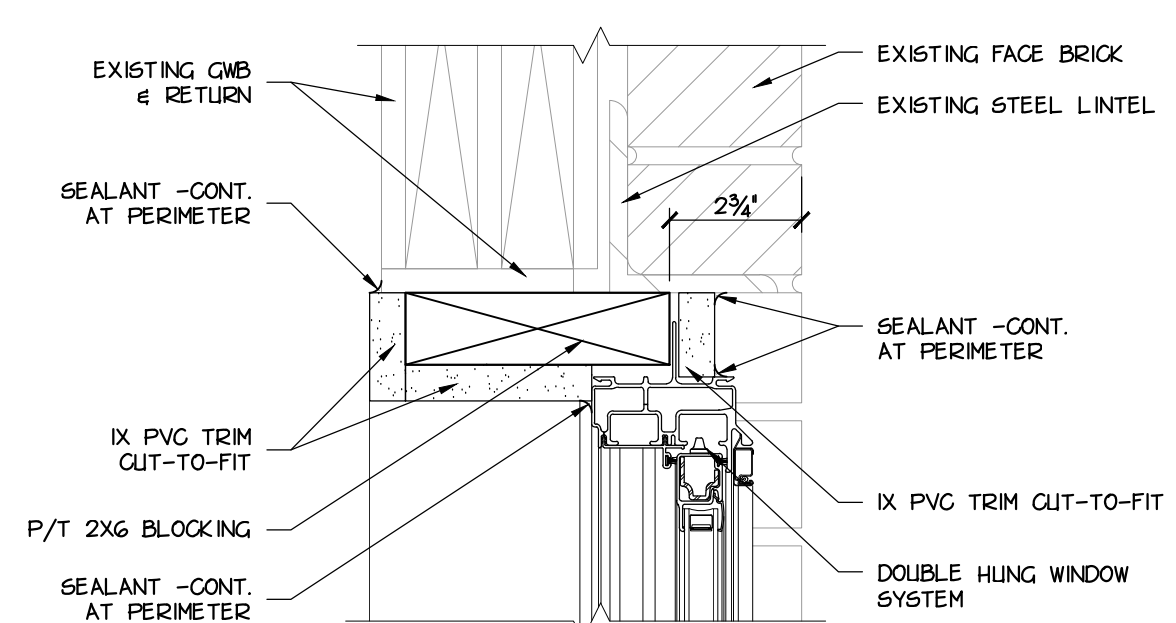
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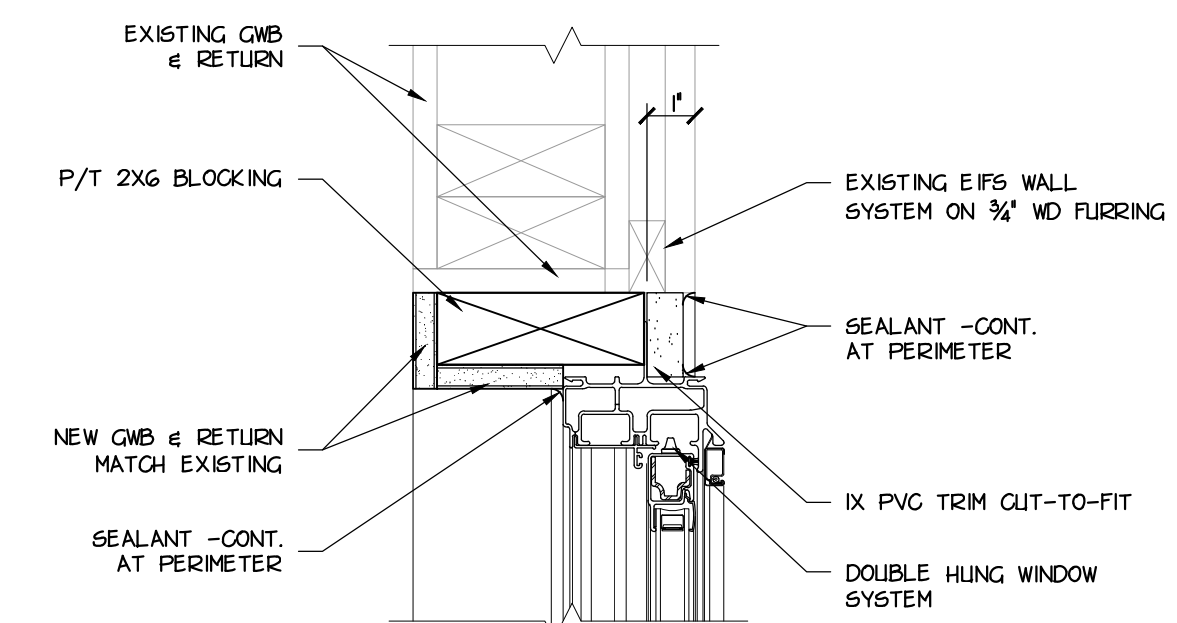
**1 WINDOW TYPES**  
SCALE: 1/2" = 1'-0"



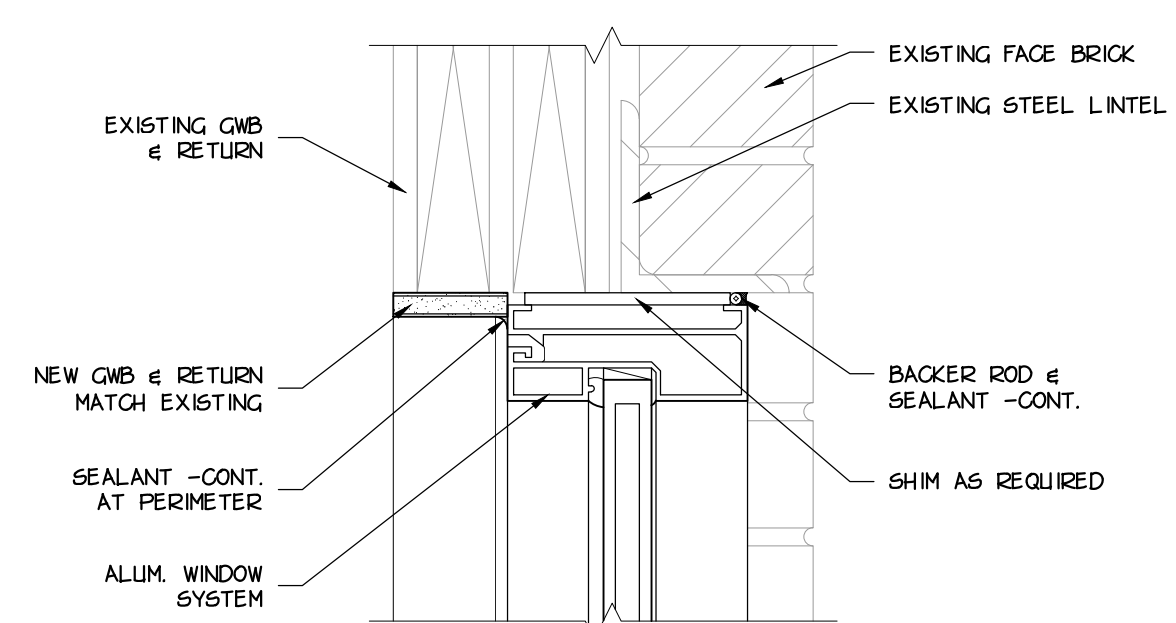
HEAD - (H1)



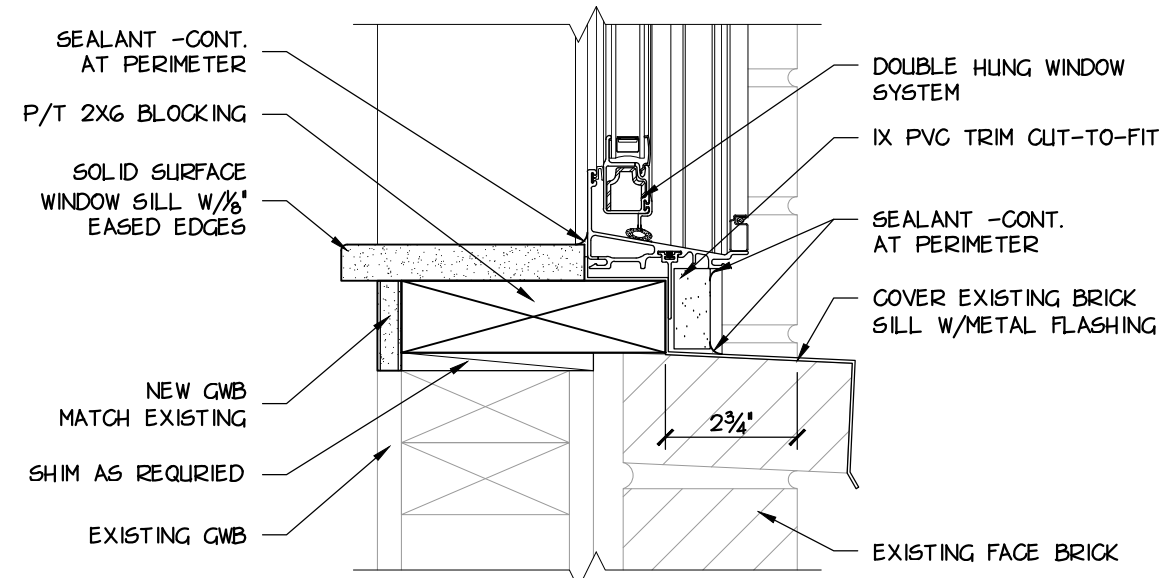
HEAD - (H2)



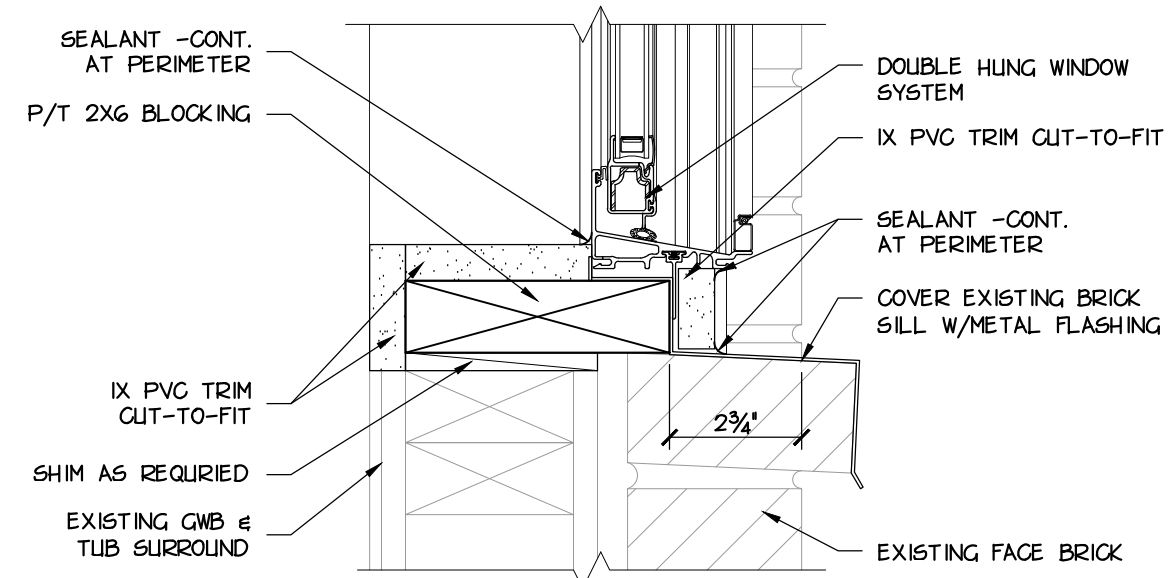
HEAD - (H3)



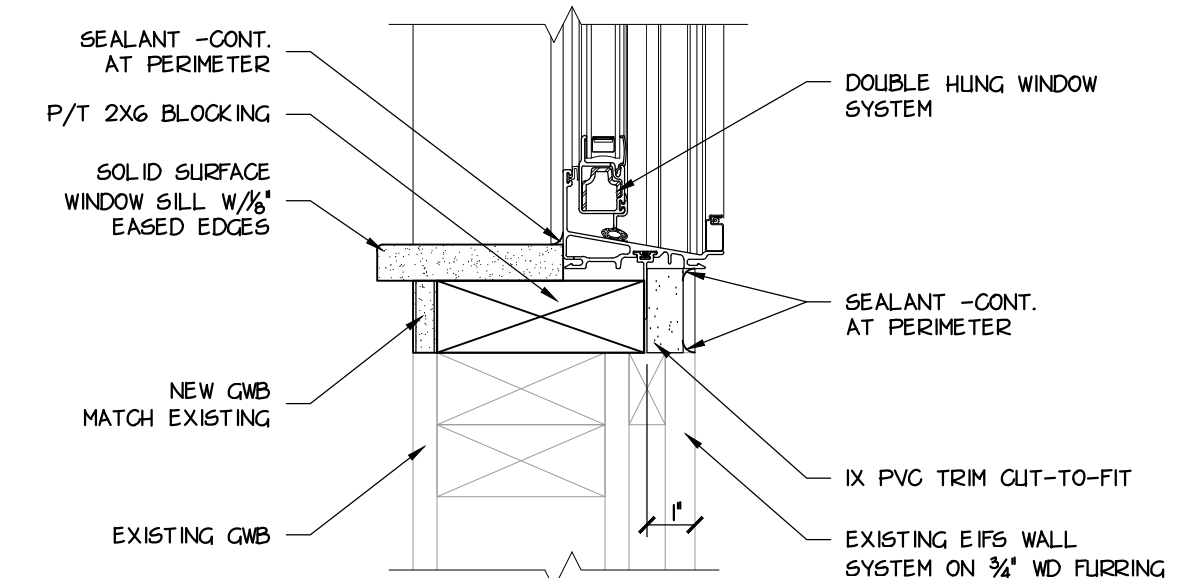
HEAD - (H4)



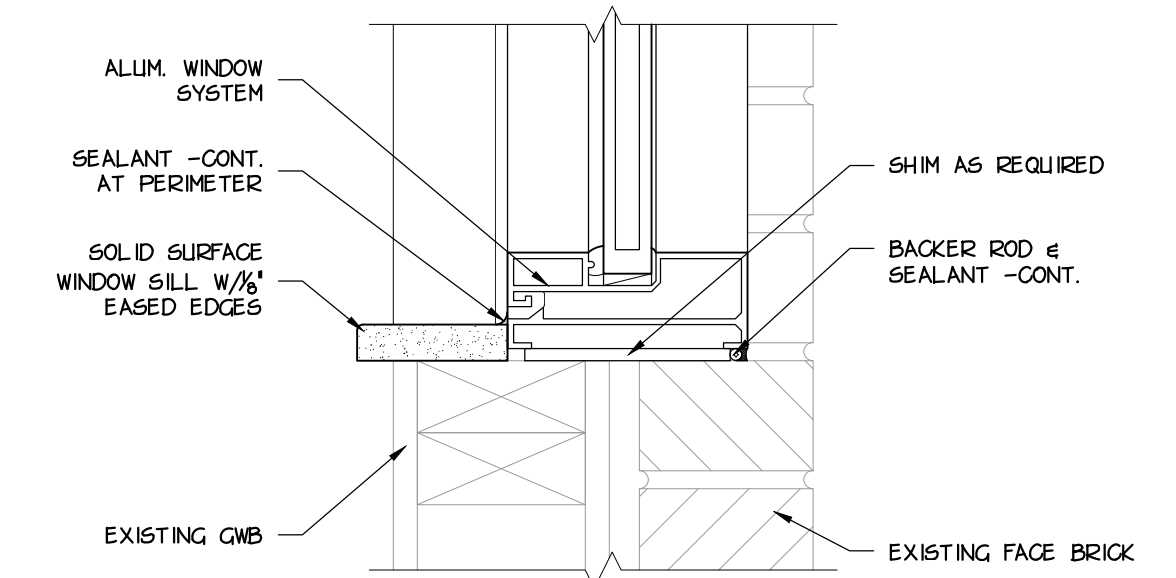
SILL - (S1)



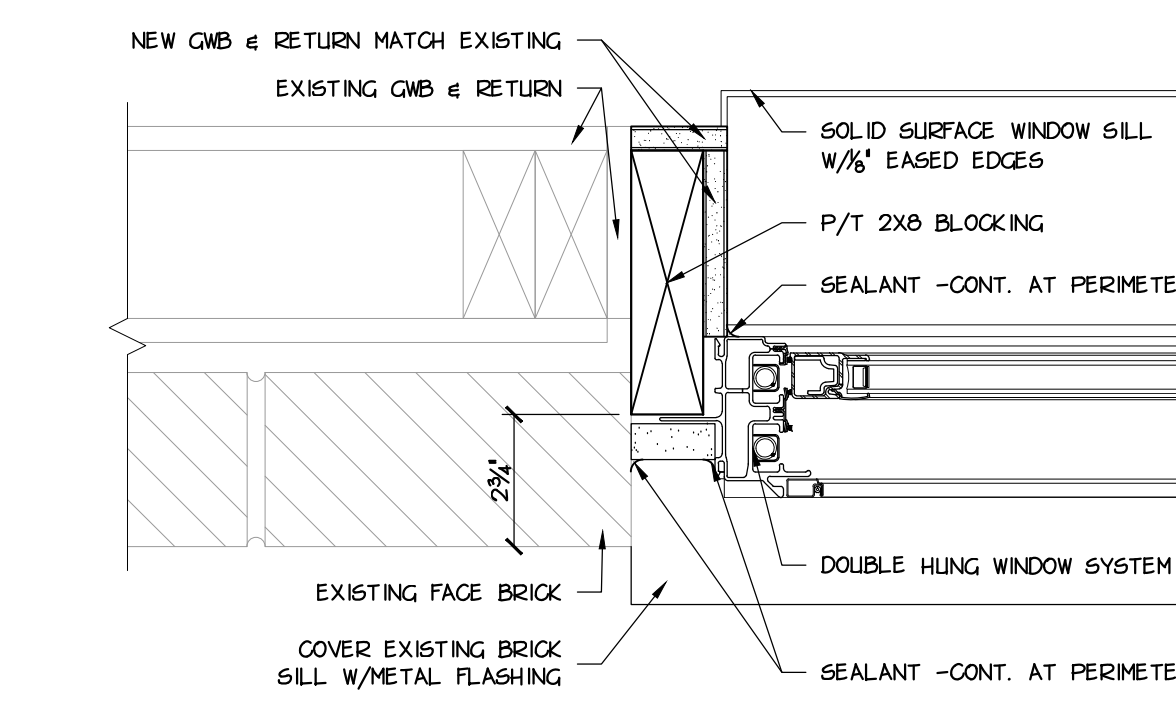
SILL - (S2)



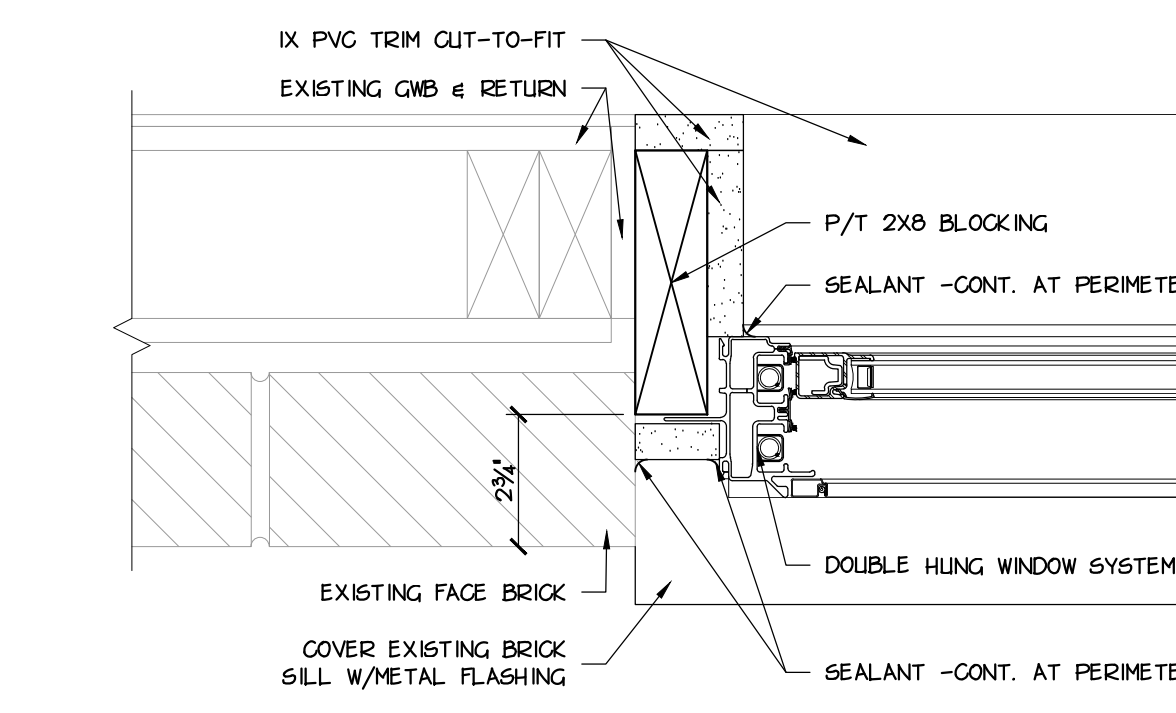
SILL - (S3)



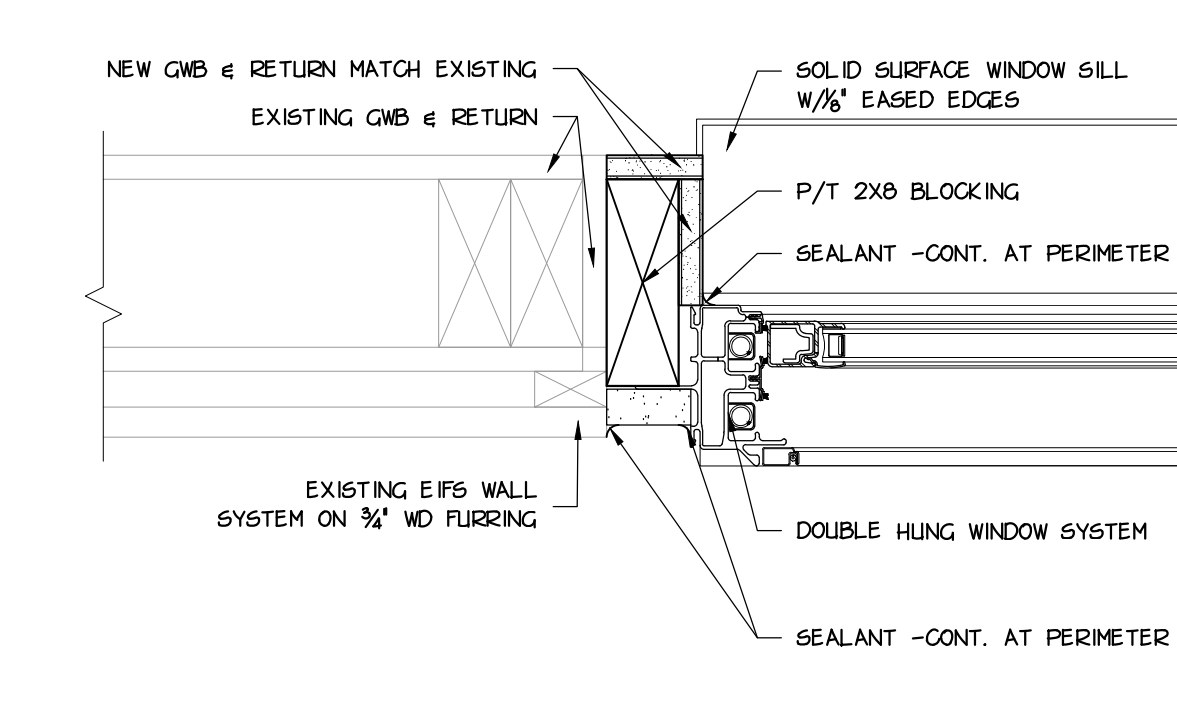
SILL - (S4)



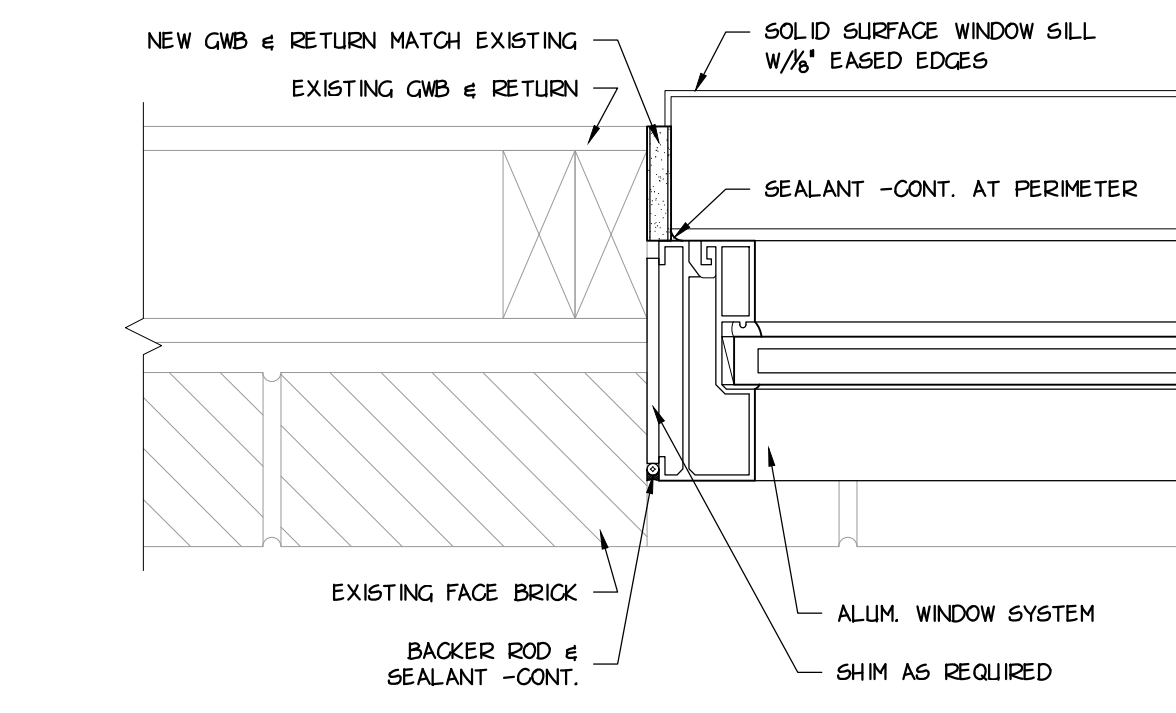
JAMB - (J1)



JAMB - (J2)



JAMB - (J3)



JAMB - (J4)

**2 WINDOW DETAILS**  
SCALE: 3" = 1'-0"

PROJECT

**WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS**

OWNER

**WESTMORELAND COUNTY HOUSING AUTHORITY**

PROJECT NUMBER

R23-077-05

ISSUED FOR

OWNER REVIEW

ISSUE DATE

JULY 2024

SHEET NAME

**WINDOW TYPES & DETAILS**

SHEET NUMBER

**A8.02**

P:\077 - Westmoreland County Housing Authority\R23-077-05 - WEST HEMPFIELD TOWNHOUSES EXTERIOR RENOVATIONS\DWG\Sheets\A8.02.dwg, Date: 7/10/2024 4:41:57 PM, Plotted By: JANE DOLJAC