DOCUMENT 00 9100

REBID ADDENDUM 1

R17-077-04 LOYALHANNA APARTMENT RENOVATIONS

REBID ADDENDUM NO. 1 DATE OF ISSUE: MAY 17, 2019

PAGE NO. 1

Notice to All Bidders:

This addendum is hereby made a part of the contract and is to be included therein. The purpose of this addendum is to amend, modify and clarify the contract documents, as follows:

Attachments:

- 1. REBID Pre-Bid Meeting Minutes and sign-in sheet
- 2. E-301
- 3. E-302

<u>PRE-BID MEETING MINUTES:</u> The attached REBID Pre-Bid meeting minutes become part of the project specifications.

CHANGES TO PREVIOUS ADDENDUM:

NΑ

CHANGES TO SPECIFICATIONS:

BID FORM:

Clarification:

Bidders are to use the second bid form in the specifications. The correct bid form includes only Plumbing, Mechanical, and Electrical Bids.

BID FORM:

Delete:

...work shall be completed within 275 calendar days for the base bid.

Add:

...work shall be completed within 365 calendar days for the base bid.

SECTION 01 3213 SCHEDULING AND PHASING

1.01 Substantial Completion:

Delete:

...275 calendar days

Add:

...365 calendar days

1.02 Final Completion

Delete:

...290 calendar days

Add:

...380 calendar days

3.04 SCHEDULING

Add:

C. Phasing:

- 1. Work in the apartments will be completed by floor, not by vertical plumbing stack.
- 2. Each floor will be divided into 2 phases of 6 or 7 apartments.
- 3. Apartments will be vacant during construction.
- 4. Contractors will have 3 weeks per 6 or 7 apartments and a total of 7 weeks per floor to complete work.
- 5. The Mechanical Contractor is permitted to proceed with their exhaust work in the apartments prior to the apartments being vacated and ahead of the other prime contractors.

SECTION 26 5000 LIGHTING

Part 2 Products

Add:

2.07 Smoke Detector: Provide smoke alarm equal to BRK Model 9120 B

CHANGES TO DRAWINGS:

E-301 ELECTRICAL LIGHTING AND POWER PLAN

Revise Drawing as indicated on the attached drawing E-301

Revise: Adjust location of light at stairwell door to provide adequate space for new Pilaster. Coordinate with GC.

E-302 ELECTRICAL ENLARGED LIGHTING AND POWER PLANS

Numbered Electrical Notes # 2

Revise:

2. EC to provide connection to light fixtures from nearest existing light fixture. EC to utilize "void" area between wall and handrail board to conceal conduit for connection of new wall sconces. See detail 13/A-701.

Note #5

Revise:

Relocated existing smoke detectors on floors 2 - 8.

Delete Note 6

Detail 5/E-302

Clarification: EC is to locate the switch, outlet and sconce beyond the pantry cabinet between

the Kitchen and Living Room. Provide new wiring and raceway if required.

Clarification: EC is to locate the receptacle on the living room wall between the Living Room

and Bedroom. Provide new wiring and raceway if required.

Detail 3, 4/E-302

Clarification: EC is to provide a new receptacle for the refrigerator. Provide new wiring and

raceway if required.

QUESTIONS AND CLARIFICATIONS (Answers in Italic)

1. In looking at the plumbing drawings, I noticed that there are no expansion tanks included with this design.

Is this acceptable practice in Westmoreland County or will an expansion tank be needed?

An expansion tank is required where a backflow preventer or check valve is installed in the system. The backflow preventer is at the main and there are not check valves at each apartment. The system is large enough and the water heaters are small enough thermal expansion won't be a problem.

2. On drawing P-301, the new locations for the hot water tanks are within the lower cabinets. Will there be access to the locations built into the cabinets (a door that matches the cabinets) or will we have to supply an access panel to be installed into the wall? In the case of the UFAS apartments, the access panels would be located in the corridor.

The water tanks will be installed in the base cabinet below the countertop. Access is through the cabinet door.

3. I looked in the specification for some form of phasing on this project but didn't see anything that explained how it was to be done. Are the renovations being done by floor or by stacks?

C. Phasing:

- 1. Work in the apartments will be completed by floor, not by vertical plumbing stack.
- 2. Each floor will be divided into 2 phases of 6 or 7 apartments.
- 3. Apartments will be vacant during construction.
- 4. Contractors will have 3 weeks per 6 or 7 apartments and a total of 7 weeks per floor to complete work.
- The Mechanical Contractor is permitted to proceed with their exhaust work in the apartments prior to the apartments being vacated and ahead of the other prime contractors.

Clarification:

New water heaters will be installed in a base cabinet under the countertop, not in a pantry cabinet. Coordinate work with GC.

All bidders on this contract shall give due consideration to the contents of this addendum in the preparation of their Bid and shall so indicate on the Bid Form in the spaces provided. Failure of a bidder to acknowledge receipt of this addendum on his Bid form may be considered sufficient cause for rejection of his bid. It shall be the responsibility of each bidder to assure that all his suppliers and subcontractors are made aware of the contents of this addendum.

Architect: R.W. Sleighter 1060 Eberly Way Lemont Furnace, PA 15456

Owner:

Westmoreland County Housing Authority 154 South Greengate Road, Greensburg, PA 15601

END OF REBID ADDENDUM NO.1



Rebid Pre-Bid Meeting Report Westmoreland County Housing Authority Loyalhanna Apartment Renovations

Date: May 16, 2019 Time: 10:00 a.m.

Location: Loyalhanna Apartments

Attendance: In Accordance with the WCHA Sign-In Sheet

On the above date, a pre-bid meeting was held, the following items were discussed.

RW Sleighter summarized the scope of work.
 Scope -the project consists of anartment repovati

Scope -the project consists of apartment renovations including: Mechanical, Electrical, and Plumbing Rebid only. Work includes new electric water heaters, 208 single phase, 20 gallon, with leak sensor and shut off valve; bathroom vanities, bathtub faucets; new lighting, switches and receptacles in kitchens and bathrooms; installation of a new roof top unit, ductwork in the community room and activity room.

- 2. Copies of the plans and specifications are available from the Westmoreland County Housing Authority.
- 3. Contract length will be changed to 365 calendar days in re-bid Addendum #1. Anticipated start date is July 2019.
- 4. Contracts will be awarded Mechanical, Plumbing, and Electrical work.
- 5. Bidding Requirements
 - a. The bids are due on May 23, at 2:00 pm at the Westmoreland County Housing Authority Main Office, 167 South Greengate Road, Greensburg PA 15601
 - b. The required bid documents are:
 - i. Bid Form
 - ii. Bid Bond
 - iii. Non-collusive affidavit
 - iv. Non-Discrimination affidavit
 - v. Workmen's Compensation Act
- The contractors are encouraged to review the General Conditions in Section 00 7200 for details of the contract requirements.

- 7. The Bid Bond shall be <u>10%</u> of the bid amount. Bonds for Performance and Payment for 100% of the contract amount will be required as well as a one-year maintenance bond.
- 8. This is a Davis Bacon Prevailing Wage Rate project.
- 9. Each contractor will submit a Quality Control Plan per section 01 4000 as well as weekly quality control reports at each project meeting.
- 10. There will bi-weekly project meetings to review project progress and to discuss any outstanding issues. Each contractor will provide a Daily Sign-in sheet of the workers at the project meeting. Sub-contractors are to attend all meetings immediately before and while their work is ongoing.
- 11. The General Contractor will provide portable toilet for workers.
- 12. Contractors are responsible to pay all taxes, permit fees (except for the Building Permit), etc. Contractors will need to verify the costs before bidding. The owner will obtain the building permit.
- 13. All contractors will be given the opportunity to walk around the site.
- 14. Working hours shall be between 7:00 am and 5:30 pm. Work on Saturdays is acceptable with prior notification to the owner. No work is permitted on Sundays or holidays observed by the WCHA. The contractors may request alternate working hours from the owner. Requests for alternate work hours are subject to approval by the owner. Contractors need to provide a 48-hour notice to WCHA for tenants to vacate the apartments. The apartments will be vacated 6 or 7 at a time per floor, work to begin on the 2nd floor.
- 15. The contractors must coordinate the location of storage areas and construction trailers with the owner. No materials or equipment may be stored in the buildings. All contractor employees may park in parking garage across the street.
- 16. The general contractor will be the lead contractor and will establish a detailed construction schedule that includes when work will take place. The plumbing contractor, electrical contractor, mechanical contractor, owner and architect will be able to provide comments on the schedule. All parties must agree to the final schedule.
- 17. All contractors shall coordinate the work schedule to maintain operation for the owner's office staff.
- 18. Coordination of Work It is each contractor's responsibility to coordinate the installation of their work, preparation of schedules, submittals, and delivery of materials, with the other prime contractors.

- 19. Following the contract signing, the owner will provide time for the contractors to obtain materials before issuing the notice to proceed.
- 20. The WCHA office staff will provide the contractors with the necessary AIA documents and detailed instructions for pay requests at the pre-construction meeting.
- 21. Each contractor shall submit certified payrolls on a weekly basis.
- 22. Scheduling and Phasing work will be completed by floor, not stack. (3) weeks per (6) apartments
- 23. If contractors need to visit the site for further inspection, please contact Gino Destefano, WCHA Construction Inspector, at 724-640-4582.
- 24. Questions should be directed to Ken Schrock at RW Sleighter by email at ken schrock@rwsleighter.com by May 17th, addendum will be issued on May 17th.
- 25. The addendum will be posted on WCHA website. WCHA suggest all contractors register on their site.
- 26. Work to begin in July
- 27. MC is permitted to work in occupied apartments to get ahead of the GC.

GENERAL NOTES

- 1. If there are any portions of this report that are inaccurate or there is any information missing from this report which needs to be included, please notify the Engineer within one week of issuance of this report.
- By Kenneth Schrock
 Director of Architecture
 RW Sleighter

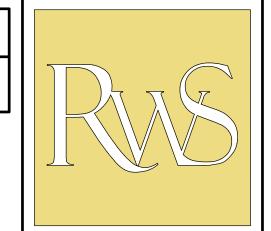
Loyalhanna Apartments Renovations

Rebid Pre-Bid Meeting May 16, 2019

PRINTED NAME	PRINTED COMPANY NAME
Jason Oxford	Bac- Services T/A Hinkle Plumbing. Go
JON TURIK	TURINS ELERAL LIC
Jan Turk Sr	Turiles Electric LC
Dustin Digon	MARC-Service, Inc. wareservice Justin Butte
JIM CLARY	SCHULTHEIS ECECTRIC JIME ETSBING.
Brign Friedrich	JBMech bfriedriche Jbmechani
ERIK SPIEZE	WCHA
AN SETPOCK	RNS
Jenny Bobish	RUS
Gino De Stefano	WCHA
<u> </u>	

DRAWING NOTES

REFER TO SHEET E-302 FOR ELECTRICAL NOTES, ELECTRICAL FIXTURE SCHEDULE AND ELECTRICAL NUMBERED NOTES.



RW SLEIGHTER ENGINEERS & ARCHITECTS

1060 EBERLY WAY LEMONT FURNACE, PA 15456 Phone 724.438.4010 Fax 724.438.4017 info@rwsleighter.com WWW.RWSLEIGHTER.COM

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AUTHORITY LOYALHANNA APARTMENT RENOVATIONS
1111 JEFFERSON STREET
LATROBE, PENNSYLVANIA 15650

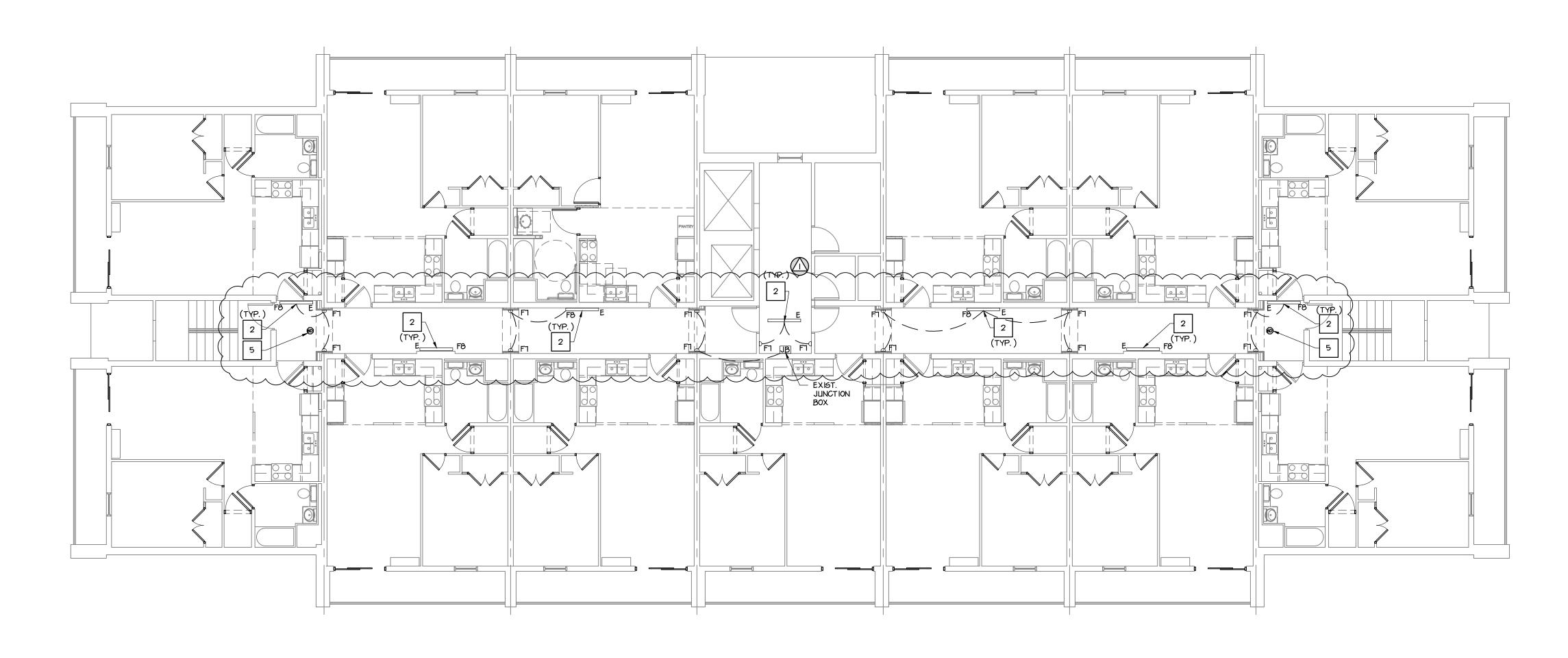
WESTMOREL

DESCRIPTION

05-17-19 REBID ADDENDUM NO.

ELECTRICAL -LIGHTING & POWER **PLAN**

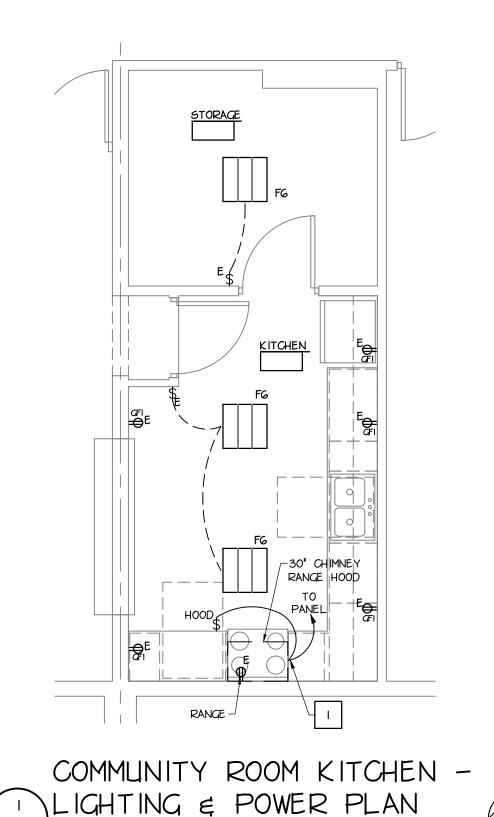
E-301

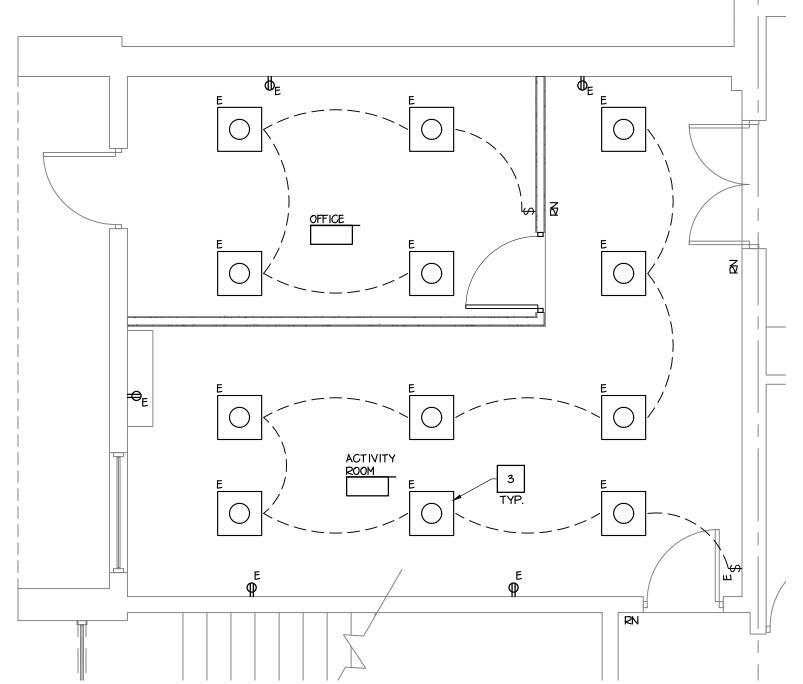


TYPICAL FLOOR (2 THROUGH 8 FLOORS) - LIGHTING & POWER PLAN

E-301 SCALE: 1/8' = 1'-0'



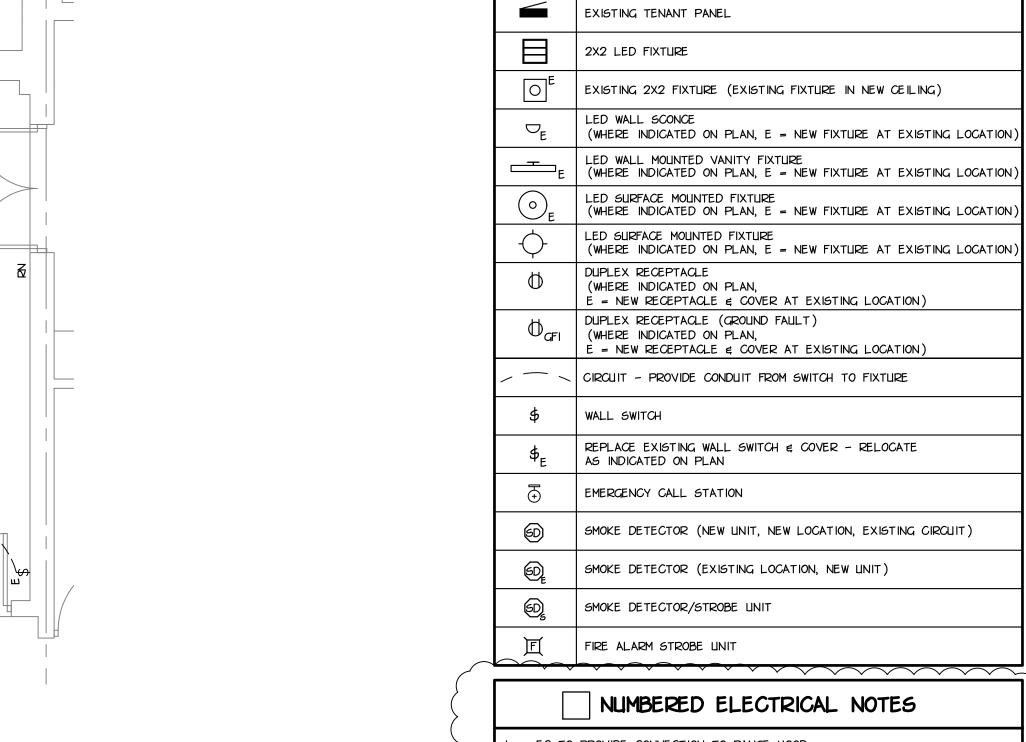




OFFICE/ACTIVITY ROOM -

2 LIGHTING & POWER PLAN

LIGHTING FIXTURE SCHEDULE					
ITEM VUMBER	MANUFACTURER	DESCRIPTION	MODEL NUMBER	REMARKS	
FI	METALUX	CLG. MOUNTED LED FIXTURE	FMLED20WH840PR		
F2	EGLO - GRAFIK	LED WALL SCONCE	90463A		
F3	HALO	RECESSED LED FIXTURE	SLD405835WHJB		
F4	METALUX	CLG. MOUNTED LED FIXTURE	FMLEDI2WH840PR		
F5	LITHONIA	LED WALL MOUNTED VANITY FIXTURE	FMVCCL 24IN MVOLT 30K 90CRI BN	MOUNT CENTER OF FIXTURE AT 6" ABOVE MIRROR	
FG	COOPER	2X2 LED FIXTURE	282R-2-L35-ESTG-UNV-STD-IC-95N		
FI	INCON	LED WALL SCONCE	21112		
F8	CORELITE	WALL MOUNTED LED DIRECT/INDIRECT	JW-WM-2L35-IC-UNV-SU-WA-4'		



EC TO PROVIDE CONNECTION TO RANGE HOOD.

LIVING ROOM

K ITCHEN OI

EC TO PROVIDE CONNECTION TO LIGHT FIXTURES FROM NEAREST EXISTING LIGHT FIXTURE. EC TO UTILIZE "VOID" AREA BETWEEN WALL AND HANDRAIL BOARD TO CONCEAL CONDUIT FOR CONNECTION OF NEW WALL SCONCES. SEE DETAIL 13/A-701.

ELECTRICAL LEGEND

- EC TO INSTALL EXISTING LIGHT FIXTURES IN NEW CEILING. PROVIDE CONNECTION BETWEEN LIGHTS AND LIGHT SWITCHES AS PART OF NEW WORK.
- EC TO RELOCATED EXISTING EMERGENCY CALL STATION. PROVIDE NEW
- ELECTRIC BOX AND FACE PLATE COVER. EC TO RELOCATE EXISTING SMOKE DETECTORS (2ND-8TH FLOOR ONLY) TO
- ENSURE NO INTERFERENCE WITH NEW PILASTERS.
- EC TO PROVIDE CONNECTION TO ELECTRIC WATER HEATER, WATER SENSOR, & LEAK BREAKER MODULE. SEE P-001 AND P-201
- EC TO PROVIDE RECEPTACLE BELOW COUNTERTOP IN ACCESSIBLE APARTMENT AND INSIDE PANTRY CABINET IN TYPICAL APARTMENT
- PROVIDE ELECTRICAL CONNECTION FROM EXISTING LIGHT FIXTURE TO WALL
- SCONCES AT PILASTERS USING EXPOSED RACEWAY HELD TIGHT TO THE CEILING TO GET PAST APARTMENT DOOR. THIS LOCATION ONLY, FLOORS 2-8.

ELECTRICAL NOTES ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING AND PROPOSED ELECTRICAL CIRCUITS FOR LOAD AND CAPACITY. EC IS RESPONSIBLE FOR ENTIRE BID DOCUMENT SET. ELECTRICAL WORK INDICATED ON OTHER DRAWINGS ARE THE RESPONSIBILITY OF THE EC. EC TO MAKE ELECTRICAL CONNECTIONS TO RANGE HOOD (AT ALL APARTMENTS), AND INSTALL SWITCHES (SWITCH FOR FAN, SWITCH FOR LIGHT) FACE OF BASE CABINET AT ALL ACCESSIBLE UNITS. EC TO PROVIDE GFI PROTECTION ON ALL RECEPTACLES AT KITCHEN EC TO CONNECT NEW LIGHTING TO EXISTING LIGHT CIRCUIT AND SWITCHES. FIELD VERIFY LOCATION. USE EXISTING ROUGH-IN LOCATIONS IN THE EXISTING RW SLEIGHTER BUILDING WHERE POSSIBLE. EC TO PROVIDE OUTLET FOR REFRIGERATOR. EXISTING CIRCUIT TO NEW

ENGINEERS & ARCHITECTS

1060 EBERLY WAY LEMONT FURNACE, PA 15456 Phone 724.438.4010 Fax 724.438.4017 info@rwsleighter.com WWW.RWSLEIGHTER.COM

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COORDINATE LOCATION OF LIGHTING FIXTURES, CONDUIT, EQUIPMENT/DEVICES WITH OTHER TRADES INCLUDING ARCHITECTURAL DETAILS.

CONTINUOUS CIRCUIT FOR NEW WORK WHEN OUTLET ON SAME CIRCUIT ARE

EC SHALL DEVISE, EXTEND, AND AMEND EXISTING ELECTRICAL CIRCUITS TO

REQUIRED FOR EXISTING ELECTRICAL CIRCUITS OR COMPLETION OF PROPOSED

ELECTRICAL CONTRACTOR SHALL VERIFY AMPERAGE TO ALL EQUIPMENT AND

ELECTRICAL WIRING DEPICTED IS FOR INSTALLATION OF NEW ELECTRICAL WIRING.

SHOULD EXISTING WIRING, SYSTEM OR DEVICE BE ACCESSIBLE TO THE EC AND

ELECTRICAL CONTRACTOR TO PROVIDE NEW SWITCHES, RECEPTACLES AND COVER

AVAILABLE ON EXISTING WALLS (IE PLASTER ON CMU WALLS). EC TO PROVIDE

REMOVE ALL ELECTRICAL APPURTENANCES (BOXES, WIRING, ETC.) NOT

SUITABLE FOR USE, EC SHALL CREDIT VALUE OF PROPOSED WORK NOT

PLATES IN EXISTING WALL AS INDICATED ON FLOOR PLANS. COLOR AS

SELECTED BY OWNER/ARCHITECT. PATCH & PAINT AREA OF EXISTING WALL DISTURBED FOR INSTALLATION TO MATCH EXISTING ADJACENT WALLS. USE OF SURFACE RACEWAY IS ACCEPTABLE WHERE NO EXISTING ROUGH IN LOCATION IS

EC TO PROVIDE FIRE-STOPPING FOR ALL NEW ELECTRICAL WORK THAT PENETRATES A FIRE SEPARATION.

EC TO MOUNT ELECTRICAL OUTLETS AT 18" AFF TO CENTERLINE AND 42" AFF AT COUNTERS TO CENTERLINE, UNLESS NOTED OTHERWISE. COORDINATE ALL POWER OUTLETS WITH ARCHITECTURAL CASEWORK DETAILS.

EC TO MOUNT LIGHT SWITCHES AT 42" AFF TO CENTERLINE, UNLESS NOTED

- COORDINATE LIGHTING FIXTURES WITH ARCHITECTURAL CEILING PLANS AND
- DETAILS. POINT OUT ANY DISCREPANCIES BETWEEN CEILING TYPES AND SPECIFIC FIXTURE MOUNTING REQUIREMENTS TO ARCHITECT PRIOR TO FIXTURE
- CONDUIT SHALL NOT BE EXPOSED IN FINISHED AREAS.

LOCATION AS INDICATED ON PLAN.

ACCOMMODATE PROPOSED CIRCUITS.

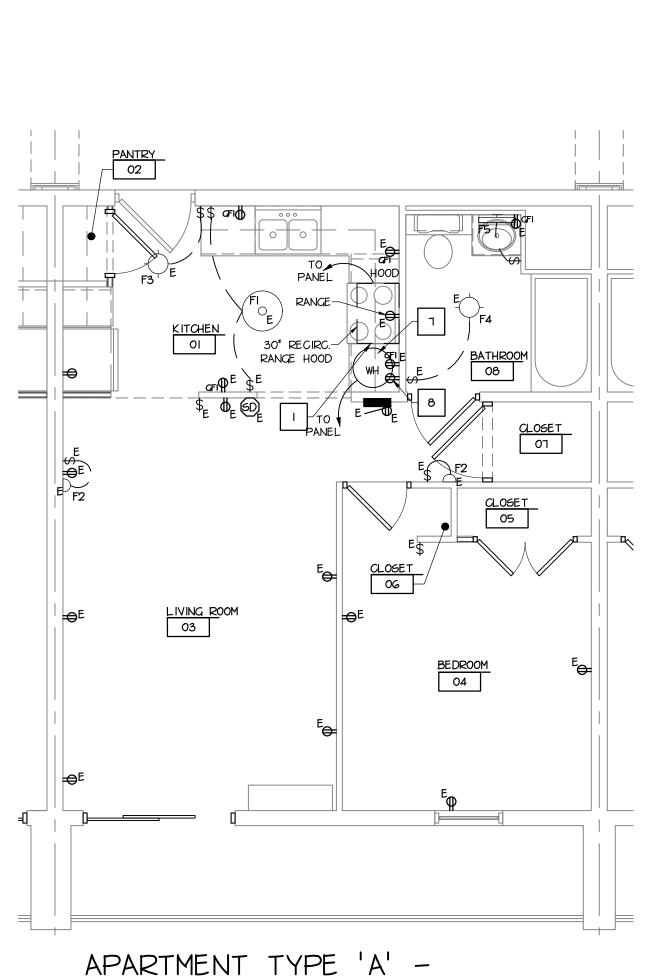
SIZE BREAKERS ACCORDINGLY.

REQUIRED TO THE HOUSING AUTHORITY.

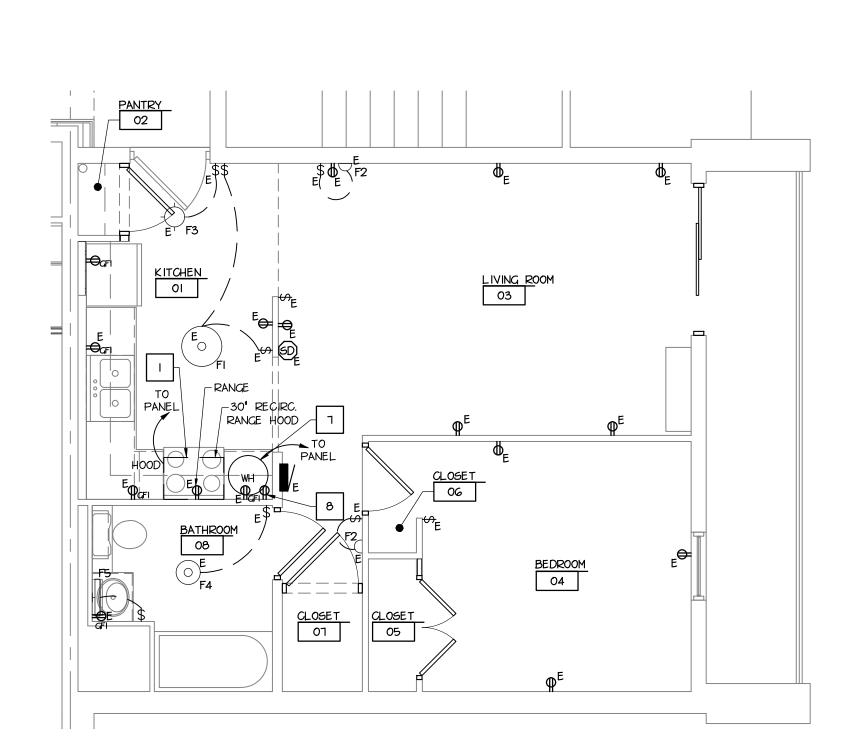
REMOVED AS PART OF DEMOLITION.

ELECTRICAL WORK.

- EC TO PROVIDE NEW CABLE OUTLET COVERS, PHONE OUTLET COVERS, BLANK-OFF COVERS, ETC. THROUGHOUT ALL APARTMENTS. COLOR AS SELECTED BY OWNER/ARCHITECT.
- EC IS RESPONSIBLE FOR ALL ELECTRICAL WORK ON E-301 AND E-302 ALONG WITH WORK INDICATED FOR THE DOMESTIC HOT WATER DISTRIBUTION SYSTEM SHOWN ON PLUMBING DRAWINGS (P-001, P-201, P-202, P-203), AND THE HVAC SYSTEM SHOWN ON HVAC DRAWINGS (M-001, M-101, M-102, M-103).
- REFER TO ENLARGED PLANS A-GOI, A-GO2, A-GO3 AND A-GO4 FOR ADDITIONAL ELECTRICAL WORK & COORDINATION INCLUDED WITH ELECTRICAL CONTRACTOR'S
- 20. AT ALL TYPICAL APARTMENTS, EC TO REPLACE EXISTING 120 VOLT SMOKE DETECTORS WITH BATTERY BACK-UP UNIT.
- EC TO PROVIDE 120V SMOKE/STROBE UNITS FOR ACCESSIBLE APARTMENT UNITS (2ND THROUGH 8TH FLOORS)
- EC TO PROVIDE BUILDING FIRE ALARM STROBE UNITS FOR ACCESSIBLE
- EC TO PROVIDE ELECTRIC CONNECTIONS TO (MAU-I) MAKE UP AIR UNIT ON
- 25. EC TO PROVIDE NEW DISCONNECT FOR MAU-1 ON THE ROOF. SEE DRAWING M-00
- 26. EC TO WIRE SMOKE DETECTOR FROM MAU-1 TO FIRE ALARM SYSTEM. MC TO FURNISH & INSTALL SMOKE DETECTOR. EXISTING FIRE ALARM SYSTEM IS A SIMPLEX SYSTEM. CONTACT SHON MENTZELL (724)961-6544



LIGHTING & POWER PLAN

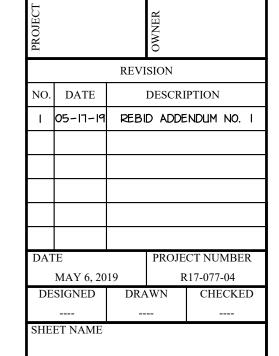






BEDROOM 04

CLOSET 05



AND

WESTMOREL

ELECTRICAL -ENLARGED LIGHTING & POWER PLANS

E-302